

# CITY OF ROME PLANNING BOARD

CARE OF: DEPARTMENT OF COMMUNITY AND ECONOMIC DEVELOPMENT

ROME CITY HALL, 198 N. WASHINGTON STREET

ROME, NEW YORK 13440-5815

Telephone: (315) 339-7643 Fax: (315) 838-1167

www.RomeNewYork.com



## Application for Planning Board Review

Property Address: Ironwood Dr

County Tax ID #: 205 000-1-3.1

### Type of Action Requested

☐ Site Plan Review ☐ Site Plan Revision ☐ Minor Subdivision (less than 5 lots)

☒ Major Subdivision (5 lots or more)

☐ Preliminary Plat ☒ Final Plat

*Please fill out all the application forms completely and ensure that you are submitting all required supporting documentation. Review and complete the application checklist form prior to submission to confirm that your application is complete.*

*A complete application must include, at minimum:*

- *Completed Application Form*
- *Application Fee*
- *All Required Submittals*
- *Digital Copy of All Documents*
- *10 Paper Copies of All Documents Printed to Full Original Scale*

*A complete application package must be submitted to the City's Department of Community and Economic Development at least sixteen (16) calendar days in advance of the upcoming meeting to be placed on an agenda. Please note that for review items which require a State Environmental Quality Review (SEQR), by law, each agency that is part of the project review has up to thirty (30) days for comment. With this in mind, if an item subject to SEQR is submitted at the deadline (16 days prior to the meeting), it is unlikely that the review item will be able to be acted on at the following regular meeting of the planning board.*

*The Planning Board generally meets on the first Tuesday of each month, but consult the publicly posted schedule as this can vary as a result of public holidays.*

Office Use	Date Received:	Fee Received:	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
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**City of Rome, New York**  
Application for Planning Board Review

**Applicant Information**

Name: Florida Dream Homes, LLC Address: 11925 SE 167<sup>th</sup> Avenue Road  
Phone: \_\_\_\_\_ City: \_\_\_\_\_ State: FL Zip: 32174  
E-Mail: rick.deely@aol.com Ocala/FLA

**Property Owner Information** ☐ (Check if same as applicant)

Name: Thorne's Circle Address: 603 Ridgewood Drive  
Phone: \_\_\_\_\_ City: Rome State: NY Zip: 13440  
E-Mail: \_\_\_\_\_

**Agent Information**

Name: Moore Land Surveying P.C Address: 1721 Sixte River Road  
Phone: 315-336-4480 City: Rome State: NY Zip: 13440  
E-Mail: jeff@moorelandsurveyus.com

Brief Project Summary/Description:

14 Lot Subdivision - see attached plans

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Property Zoning: R-1-B Property Size: 150 ± A

Current Land Use: Vacant

Are there any easements or rights-of-way on the property? ☐ Yes ☒ No  
☐ Utility ☐ Right-of-Way ☐ Access ☐ Other

Are there any known archaeological or historically significant features on the property? ☐ Yes ☒ No

If yes, please explain: \_\_\_\_\_

Are there any federal or state wetlands located on the property? ☐ Yes ☒ No

☐ Federal Wetlands ☐ New York State Wetlands not on project site

Is the property located within a floodplain? ☐ Yes ☒ No

☐ 100-Year ☐ 500-Year

**City of Rome, New York**  
Application for Planning Board Review

**Site Plan Review Supplement**

*Please complete this section if you are applying for site plan review*

N/A

**Proposed Building Square Footage:** \_\_\_\_\_

**Proposed Building Height:** \_\_\_\_\_

**Proposed Lot Coverage:** \_\_\_\_\_

**Proposed Impervious Surface Coverage:** \_\_\_\_\_

**Proposed Building Setbacks:** \_\_\_\_\_ (Front, Side, Side, Rear)

**Breakdown of Proposed Uses by Square Footage:** \_\_\_\_\_

**Proposed Number of Residential Units:** \_\_\_\_\_ (If Applicable)

**Does the proposed project involve the construction of wireless telecommunication facilities or infrastructure?**

☐ Yes   ☐ No

**Does the proposed project involve the construction of a Tier 2 or Tier 3 Solar Energy Project as defined in the City of Rome Zoning Code?**

☐ No   ☐ Yes, Tier 2   ☐ Yes, Tier 3

*Additional information is required for projects involving wireless telecommunication facilities and infrastructure, as well as Tier 2 and 3 solar arrays. For these types of project, please contact the Department of Community and Economic Development for assistance.*



**City of Rome, New York**  
Application for Planning Board Review

**Application Submittals Checklist (Site Plan Review)**

*This checklist must be completed if you are applying for Site Plan Review in order for your application to be considered complete.*

- ☐ Completed Application for Planning Board Review
- ☐ Application Fee (\$50 Minor Site Plan, \$250 Major Site Plan) (Make Checks Payable to City of Rome)
- ☐ Completed Short or Long Form Environmental Assessment Form, Part 1, As Applicable
- ☐ Project Drawings including the following and scaled to no more than 1"=100':
  - ☐ Project Title (cover page)
  - ☐ Name and address of applicant (all drawings)
  - ☐ Name and address of person/firm who prepared the drawings (all drawings)
  - ☐ North Arrow and scale (all drawings)
  - ☐ Date of drafting and most recent revision (all drawings)
  - ☐ Boundaries of property (all drawings)
  - ☐ Grading and drainage plan, including both existing and proposed contours
  - ☐ Location, type of construction, and exterior dimensions of all buildings
  - ☐ Elevations and design of all proposed buildings
  - ☐ Location, design, and type of construction of all parking and loading areas
  - ☐ Access and egress for all buildings and parking and loading areas
  - ☐ Location, design, and construction details for all existing and proposed site improvements
    - ☐ Pedestrian access and circulation
    - ☐ Emergency vehicle access and circulation
  - ☐ Location, design, and construction details for all utilities provisioning and connection
  - ☐ Location, design, and construction details for all proposed signs
  - ☐ Landscaping plan and planting schedule, including proposed buffer areas and vegetative cover
  - ☐ Outdoor lighting plan, including photometrics
  - ☐ Estimated project construction schedule
  - ☐ List of all state and county permits required for the project and their status.

*Please note that the Planning Board or City departments may, at their discretion, require the submission of additional information beyond what is listed above.*

City of Rome, New York  
Application for Planning Board Review

**Subdivision Supplement**

*Please complete this section if you are applying for property subdivision.*

Existing parcel size(s): 150 ± A

New parcel sizes: 0.33 ± A

Proposed number of parcels to result from subdivision: 18 + 1 outparcel

Will all parcels have frontage on a public right-of-way and take access from it?

☒ Yes   ☐ No

Does the proposed subdivision anticipate the creation of new roads, power lines, or water and sewer infrastructure that will be maintained by the City of Rome?

Yes

For major subdivision - have copies of the proposed plat been sent to the Oneida County Department of Health for approval?

☒ Yes   ☐ No

**City of Rome, New York**  
Application for Planning Board Review

**Application Submittals Checklist (Preliminary Plat, Minor Subdivision)**

*This checklist must be completed if you are applying for property subdivision in order for your application to be considered complete.*

N/A

- ☐ Completed Application for Planning Board Review
- ☐ Application Fee (\$50 base fee plus \$35 per lot)(Make checks payable to City of Rome)
- ☐ Completed Short or Long Form Environmental Assessment Form, Part I, as applicable
- ☐ Legal description of the parcels resulting from the proposed subdivision
- ☐ A preliminary plat map prepared by a Professional Engineer or Licensed Land Surveyor at a scale not exceeding 1"=100' and showing the following:
  - ☐ North arrow and scale bar
  - ☐ Name and address of applicant
  - ☐ Name, address, and stamp of the Engineer or Land Surveyor who prepared the drawing
  - ☐ Layout, number, dimensions, and area of each lot within the proposed subdivision
  - ☐ Boundary lines of the proposed parcels, including angles and distances, and a statement of the total areas of those parcels
  - ☐ The location, dimensions, and layout of rights-of-way, blocks, easements, improvements, and utilities within and contiguous to the proposed subdivision, as well as the location and dimensions of such major features as railroad lines, waterways, and exceptional topography
  - ☐ The location of all existing and proposed connections with existing and proposed water, sewer, and other utility lines, and an indication of provisions for and location of stormwater management facilities
  - ☐ If applicable - location, dimensions, and layout of all parcels of land intended to be dedicated for public use or reserved as common space for subdivision property owners (such as parks or walking trails)
  - ☐ If applicable - outline and description of all public improvements (such as roads), together with preliminary drawings

*Please note that the Planning Board or City departments may, at their discretion, require the submission of additional information beyond what is listed above. Commonly requested information includes, but is not limited to, the following:*

- ☐ Topography map with contours at specified intervals
- ☐ Cross-section of proposed rights-of-way, showing roadway widths and grades, bicycle and pedestrian facilities, green infrastructure, and street trees
- ☐ The proposed location of water, gas, electric, cable, data delivery, and telephone outlets or lines
- ☐ Elevation drawing(s)

**City of Rome, New York**  
Application for Planning Board Review

**Application Submittals Checklist (Pre-Application Conference, Major Subdivision)**

- ☐ Sketch plan showing a general layout of proposed streets, lots, and other improvements
- ☐ Location map indicating the proposed subdivision in relation to the surrounding area
- ☐ Depiction of land to be reserved for streets, stormwater management, sewers, water, fire protection, public buildings, utilities, and other facilities
- ☐ Map of general locations of obvious conservation features
- ☐ Conservation Features Inventory (required only if the proposed subdivision contains previously undeveloped or agricultural land)

**Application Submittals Checklist (Preliminary Plat, Major Subdivision)**

*This checklist must be completed if you are applying for property subdivision in order for your application to be considered complete.*

- ☒ Completed Application for Planning Board Review
- ☒ Application Fee (\$150 base fee plus \$35 per lot)(Make checks payable to City of Rome)
- ☒ Completed Short or Long Form Environmental Assessment Form, Part 1, as applicable
- ☒ Legal description of the parcels resulting from the proposed subdivision
- ☒ A preliminary plat map prepared by a Professional Engineer or Licensed Land Surveyor at a scale not exceeding 1"=100' and showing the following:
  - ☒ North arrow and scale bar
  - ☐ Name and address of applicant
  - ☒ Name, address, and stump of the Engineer or Land Surveyor who prepared the drawing
  - ☒ Layout, number, dimensions, and area of each lot within the proposed subdivision
  - ☒ Boundary lines of the proposed parcels, including angles and distances, and a statement of the total areas of those parcels
  - ☒ The location, dimensions, and layout of rights-of-way, blocks, easements, improvements, and utilities within and contiguous to the proposed subdivision, as well as the location and dimensions of such major features as railroad lines, waterways, and exceptional topography
  - ☒ The location of all existing and proposed connections with existing and proposed water, sewer, and other utility lines, and an indication of provisions for and location of stormwater management facilities
  - ☒ If applicable - location, dimensions, and layout of all parcels of land intended to be dedicated for public use or reserved as common space for subdivision property owners (such as parks or walking trails)
  - ☒ If applicable - outline and description of all public improvements (such as roads), together with preliminary drawings

**Application Submittals Checklist (Final Plat, Major Subdivision)**

*This checklist must be completed if you are applying for property subdivision in order for your application to be considered complete.*

- ☒ Completed Application for Planning Board Review
- ☐ Formal offers of dedication, when not set forth on the final plat, of any public rights-of-way or parks, accompanied by the appropriate deeds bearing a certification of approval by the City Corporation Counsel.
- ☐ An endorsement from abstract or title company certifying that there are no liens against the land to be subdivided arising from nonpayment of City taxes, water or sewer charges, or fines.
- ☐ A preliminary plat map prepared by a Professional Engineer or Licensed Land Surveyor at a scale not exceeding 1"=100' and showing the following:
  - ☒ All information from the approved preliminary plat
  - ☒ Date of preparation of the final plat and by whom it was prepared
  - ☒ The boundary of the plat, based on accurate traverse, with angles and linear dimensions.
  - ☒ The exact location, width, and name of all rights-of-way within and adjoining the plat
  - ☒ True angles and distances to the nearest established right-of-way line or official monuments (no less than three)
    - ☒ Municipal, township, county, and section lines accurately tied to the lines of the subdivision by distances and angles
    - ☒ Radii, internal angles, points, curvatures, tangent bearings, and lengths of all arcs
    - ☒ All easements established for public use and utilities
    - ☒ All lot numbers and lot lines, with accurate dimensions given in hundredths of a foot
    - ☒ Accurate outlines of all areas dedicated or reserved for public use, with the proposed uses indicated, and all areas to be reserved for the common use of the property owners, with the proposed uses indicated
- ☒ A certification by all who have an interest in the property to be subdivided, authorizing and acknowledging the preparation of the subdivision plat and the dedication of any thoroughfares and other public areas
- ☒ Documentation of the approval of the City Engineer that the subdivision agrees with the City survey and is mathematically correct
- ☒ Certification from the Oneida County Health Department and any other applicable authorities that the final plat meets required specifications.

**City of Rome, New York**  
Application for Planning Board Review

**General Information and Certification**

The City of Rome's Planning Board regularly meets the first Tuesday of every month. To be placed on an agenda, a complete application must be submitted to the City's Department of Community and Economic Development at least sixteen (16) calendar days in advance of the upcoming meeting.

Please note that you *must* have a representative in attendance at the meeting in order for your application to be considered.

All required supporting documentation including the required number of copies of plans, documents, drawings and/or other illustrative materials must be submitted in an application packet in order for it to be considered complete. Please refer to the relevant application checklist to confirm that you are submitting all necessary information.

*Failure to provide complete information may result in unnecessary delays or revocation of approvals.*

*I do hereby state that the information submitted is an accurate representation of my request and complete to the best of my knowledge:*

Applicant Signature: 

Date: 2/19/25

Owner Signature: 

Date: 2/19/25



COPPER HILL VILLAGE SUBDIVISION  
CITY OF ROME, ONEIDA COUNTY

## SITE INFORMATION

ZONING: R-18 RESIDENTIAL  
 AREA: TOTAL AREA: 150+ ACRES, AREA OF PROPOSED SUBDIVISION = 7.0 ACRES  
 AREA DISTURBED: 4.5 ACRES  
 PROPOSED RESIDENTIAL LOTS: 18  
 MINIMUM LOT AREA: 8000 SQ. FT. (ACTUAL LOT AREA = 14,400 SQ. FT.)  
 REQUIRED MINIMUM SETBACKS:  
 FRONT 25'  
 SIDES 10'  
 REAR 30'

### SEQUENCE OF CONSTRUCTION (INCLUDING EROSION CONTROL)

1. OBTAIN ALL REQUIRED PERMITS.
2. FLAG THE LIMITS OF CLEARING AS SHOWN ON THE PLANS.
3. CLEAR THE AREA OF THE STABILIZED CONSTRUCTION ENTRANCE AND INSTALL THE STABILIZED CONSTRUCTION ENTRANCE.
4. BROOM CLEAN THE EXISTING ROADWAY DAILY TO REMOVE ALL DIRT AND MUD FROM THE SURFACE.
5. INSTALL THE SILT FENCING AT THE LOCATIONS SHOWN ON THE PLANS. INSPECT SILT FENCING WEEKLY AND MAINTAIN PER THE DETAIL.
6. CLEAR THE AREA OF THE PROPOSED ROADWAY AND UTILITY EASEMENTS AND ADJACENT SLOPES.
7. STAKE THE CENTERLINE OF THE PROPOSED ROADWAY.
8. GRADE THE AREA OF THE ROADWAY AND UTILITY EASEMENTS TO THE ELEVATIONS CALLED FOR ON THE PLANS AND THE ADJACENT SLOPES.
9. ALL AREAS OUTSIDE OF THE ROADWAY RIGHT-OF-WAY SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER BEING BROUGHT TO PRELIMINARY/FINAL GRADE.
10. CONSTRUCT THE SANITARY SEWER, WATER AND STORM DRAINAGE SYSTEMS.
11. TEST THE SANITARY SEWER AND WATER LINES. CHLORINATE THE WATER LINE.
12. INSTALL INLET PROTECTION DEVICES AROUND THE STORM DRAIN INLETS.
13. FINE GRADE THE AREAS OF THE ROADWAY AND UTILITY EASEMENTS.
14. INSTALL THE ELECTRIC, GAS, CABLE TV AND TELEPHONE LINES PER NATIONAL GRID AGREEMENT/DESIGN.
15. BRING THE HOME SITES TO THE PROPOSED GRADE.
16. SEED AND MULCH ALL UNSTABILIZED DISTURBED AREAS.
17. OBTAIN BUILDING PERMITS FOR EACH RESIDENCE.
18. INSTALL THE STANDARD EROSION CONTROL MEASURES FOR HOME SITES PER USDA STANDARDS CONTAINED IN THE EROSION CONTROL REPORT.
19. INSTALL A CONCRETE TRUCK WASH-OUT.
20. CONSTRUCT HOMES. CONNECT HOMES TO THE UTILITY LINES.
21. SEED AND MULCH THE AREAS AROUND THE HOME. ONCE THE VEGETATIVE COVER IS ESTABLISHED, THE EROSION CONTROL ON THE LOT MAY BE REMOVED.

## EROSION CONTROL NOTES

1. CLEAR AND GRB AREA OF THE PROPOSED STABILIZED CONSTRUCTION ENTRANCE.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE,
3. BROOM CLEAN THE EXISTING ROADWAY DAILY.
4. INSTALL THE SILT FENCING AROUND THE DOWNHILL PERIMETER OF THE SITE AS SHOWN ON THE PLANS.
5. INSPECT, MAINTAIN AND REPAIR THE SILT FENCING DAILY.
6. CLEAR, GRADE AND INSTALL A CRUSHED STONE SURFACE ON THE FIRST 200± FEET OF THE PROPOSED ROADWAY FOR USE AS THE CONSTRUCTION STAGING AREA.
7. CLEAR THE AREA OF THE PROPOSED ROADWAY AND UTILITY EASEMENTS ON EACH SIDE THEREOF.
8. GRADE THE AREA OF THE ROADWAY TO ROUGH GRADE TO PERMIT THE INSTALLATION OF THE UTILITIES.
9. CLEAR AND GRADE THE AREAS OUTSIDE OF THE ROADWAY TO THE LIMITS SHOWN ON THE PLAN.
10. GRADE THE AREAS OF THE PROPOSED LOTS TO THE CONTOURS SHOWN ON THE PLANS.
11. SEED AND MULCH THE DISTURBED AREAS OUTSIDE OF THE ROADWAY.
12. FINE GRADE THE AREA OF THE ROADWAY AND INSTALL THE BASE AND BINDER COURSE OF THE PAVEMENT.
13. INSTALL INLET PROTECTION AROUND THE CATCH BASINS.
14. COMPLETE THE ROADWAY AND UTILITY WORK AND SEED AND MULCH ALL DISTURBED AREAS.
15. UPON COMPLETION OF THE ROADWAY AND UTILITY WORK, APPLY FOR BUILDING PERMITS FOR EACH SITE.
16. INSTALL AND MAINTAIN RESIDENTIAL CONSTRUCTION EROSION CONTROL MEASURES ON EACH SITE PRIOR TO CONSTRUCTION OF EACH RESIDENCES.
17. SEED AND MULCH THE LOT AREAS AROUND THE RESIDENCES.
18. REMOVE SILT FENCING ONCE GRASS IS ESTABLISHED.

APPLICANT: FLORIDA DREAM HOMES, LLC  
11925 SE 167th AVENUE ROAD  
OCKLAWAHA, FL 32179



LOCATION MAP  
SCALE: 1"=2000'

SHEET INDEX	
SHEET 1	EXISTING SITE PLAN
SHEET 2	PROPOSED SITE PLAN
SHEET 3	PROPOSED SITE PLAN WITH GRADING & EROSION CONTROL
SHEET 4	ROAD & UTILITY PROFILE
SHEET 5	WATER DETAILS
SHEET 6	SANITARY DETAILS FOR GRAVITY SEWERS
SHEET 7	SANITARY DETAILS – ENVIRONMENT ONE
SHEET 8	STORM DRAINAGE & PAVING DETAILS
SHEET 9	EROSION CONTROL DETAILS
SHEET 10	MISCELLANEOUS DETAILS

**WARNING:** It is a violation of New York State Law for any person, unless acting under the direction of a licensed Engineer, to alter this document in any way. If a document bearing the seal of an Engineer is altered, the alteration shall affix to such document its seal and the notation "altered by" followed by the signature, the date of such alteration and a specific description of the alteration.

DATE	BY	REVISION
12/20/24	EUL	SHEET 10
01/22/25	EUL	NOTES

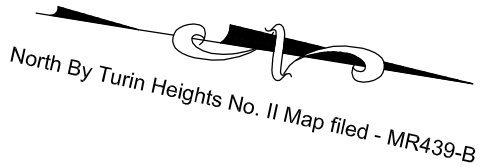
D. EHRE, P.E., P.L.L.C.  
 102, NEW HARTFORD, NY 13413 (315) 797-6088

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TITLE SHEET

BOULDER CONSULTANTS  
COPPER HILL VILLAGE SUBDIVISION  
CITY OF ROME  
COUNTY OF ONEIDA  
STATE OF NEW YORK





150± Acres  
(Per Tax Records)  
Lot 35  
Remainder of S.B.L. 205.000-1-3.1

Robert G. Polce  
(Now or Formerly)  
Instrument No. 2024-01161  
S.B.L. 188.003-3-45

Robert G. Polce  
(Now or Formerly)  
Liber 2840 / Page 883  
S.B.L. 188.003-3-45  
#8328 Overall Drive  
Lot 2

"Woodfield Estates Turin Heights No. II Phase 1  
NY Block E Addition" Last Revised February 14, 1990  
By James E. McGurney, L.S. and James E. McGurney, L.S.  
County Clerk's Office in Map Roll 439-B

Atlas Homes Co., Inc.  
(Now or Formerly)  
Instrument No. 2024-01162  
S.B.L. 188.003-3-44  
#8332 Overall Drive  
Lot 1

Scott Allmon  
& Timmy Piotrowski  
(Now or Formerly)  
Instrument No. 2024-01165  
S.B.L. 188.003-3-52  
#8334 Overall Drive  
Lot 8

Melissa R. John & Shasha  
(Now or Formerly)  
Instrument No. 2024-01175  
S.B.L. 188.003-3-51  
#8330 Overall Drive  
Lot 7

Edward M. Reza  
(Now or Formerly)  
Instrument No. 2024-01164  
S.B.L. 188.003-3-54  
#8338 Overall Drive  
Lot 6

Todd L. Worden  
(Now or Formerly)  
Instrument No. 2024-01162  
S.B.L. 188.003-3-55  
#8340 Overall Drive  
Lot 5

Benchmark #1  
Corner of Overall Drive  
Elev. = 976.09'

WARNING: It is a violation of New York State Law for any person to prepare, or to direct the preparation of, a survey or a document bearing the seal of a Professional Engineer, unless the Engineer shall first be duly licensed by the State of New York. If the seal of a Professional Engineer is placed on a document, it shall be deemed to be a statement of the Engineer's opinion and a specific description of the work done.

DATE BY REVISION


Ryan Peach & Ann P. Lynch  
(Now or Formerly)  
Instrument No. 2024-02063  
S.B.L. 188.003-3-45  
#8353 Ironwood Drive  
Lot 12A

Woodfield Phase 1A, Atlas Homes Co.  
Inc. - Rome, New York. Last Revised: July 12, 2006 - By: James E. McGurney, L.S. and James E. McGurney, L.S. and filed in the Oneida County Clerk's Office as Map No. M2007/0000093

14' Wide Easement granted to Niagara Mohawk Power Corporation, Verizon New York, Inc. & Time Warner Cable Ins't No. R2010-000227

Sanitary Mainline  
Run = 574.8'  
Invert = 574.8'  
Invert Out = 562.4'

14' Wide Easement granted to Niagara Mohawk Power Corporation, Verizon New York, Inc. & Time Warner Cable Ins't No. R2010-000227

1 Story Wood Frame Duplex House

Lot 12B

REG TRUST  
(Now or Formerly)  
Instrument No. 2011-002834  
S.B.L. 188.003-3-45  
#8384 Ironwood Drive  
Declarations of Prospective Restrictions and Covenants  
Instrument No. 2007-007845

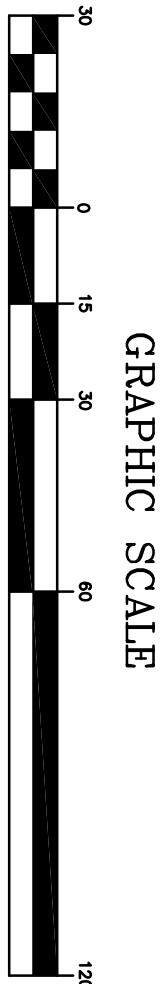
Deed Reference  
To  
Atlas Homes Co., Inc.

James J. Cilante  
James J. Cilante  
Warranty Deed - Dated: July 6, 2000  
Liber 2926 of Deeds at Page 450  
S.B.L. 205.000-1-3.1

### Legend

- Existing 5/8" Iron Rebar
- 5/8" Iron Rebar (To be Set)
- Fire Hydrant
- Existing Iron Pipe
- Underground Gas Line
- Underground Electric Line
- Underground Sanitary Sewer Line
- Underground Water Line
- Existing Contour

150± Acres  
(Per Tax Records)  
Lot 35  
Remainder of S.B.L. 205.000-1-3.1



BOULDER CONSULTANTS  
COPPER HILL VILLAGE SUBDIVISION  
CITY OF ROME  
COUNTY OF ONEIDA  
STATE OF NEW YORK

DONALD D. EHRE, P.E., P.L.L.C.  
4 OXFORD CROSSING, SUITE 102, NEW HARTFORD, NY 13413 (315) 797-6088

EXISTING SITE PLAN



SCALE:	DATE:
1"=30'	11/13/24
DWN. BY:	CKD. BY:
E.L.	DDE
JOB NO.: 24175	FILE:
DWG. NO.:	WOODSITE

SHEET 1







## Zoning Regulations:

Building Height: 35 Ft.  
 Lot Coverage: 35 %  
 Impervious Surface: 40 %  
 Min. Front Setback: 25 Ft.  
 Min. Side Setback: 10 Ft.  
 Min. Rear Setback: 30 Ft.

## PROPOSED LIMIT OF DISTURBED AREA

**PROPOSED LIMIT OF DISTURBED AREA**

**150± ACRES**  
(Pay Tax Pro Rata.)

**Lot 35**  
S.E. 1/4, Sec. 16, T. 12N., R. 10E., S. 12E.  
S.B.L. 2005-0001-1-7

**Robert G. Polak**  
(New & Farming)  
Instrument No. 2013-001161  
S.B.L. 1601-0001-3-02

**Lot 2**  
Robert G. Polak  
Liber 2640 / Page 683  
S.B.L. 068-0001-3-05  
#1601-0001-3-05

**Woodfield Estates Turn Heights No. 1 Phase 1**  
**NY Block A Addition** Last Revised February 14, 1990  
By County Clerk's Office in Allegheny County, Pennsylvania  
County Clerk's Office in Allegheny County, Pennsylvania

**Altco Homes Co. Inc**  
(Now or Formerly)  
Liber 2446 / Page 283  
S.B.L. 188.003-3-84  
#6332 Overhill Drive  
Lot 1

**Scott Allamon  
& Tammy Pietrowski**  
(Now or Formerly)  
Instrument No. 2024-0011  
S.B.L. 188.003-3-52  
#6334 Overhill Drive

**Melissa R. John & Shakh**  
(Now or Formerly)  
Instrument No. 2014-01407  
S.B.L. 188.003-3-53  
#6336 Overhill Drive

**Edward M. Festa**  
(Now or Formerly)  
Instrument No. 2016-002  
S.B.L. 188.003-3-54  
#6338 Overhill Drive  
Lot 6

**Todd L. Worden**  
(Now or Formerly)  
Document No. 2020-00  
S.B.L. 188.003-3-55  
#6340 Overhill Drive  
1015

Unlabeled "X" Northerly  
Bolt on Top Flange  
Elev. = 576.09'

of New York State Law for any person, unless acting under the direction of a licensed Engineer, to alter this document in any way. If a document bearing the seal of an Engineer is altered, the alternate Engineer shall affix to such document his seal and the notation "altered by followed by his signature, the date of such alteration and a specific description of the alteration."

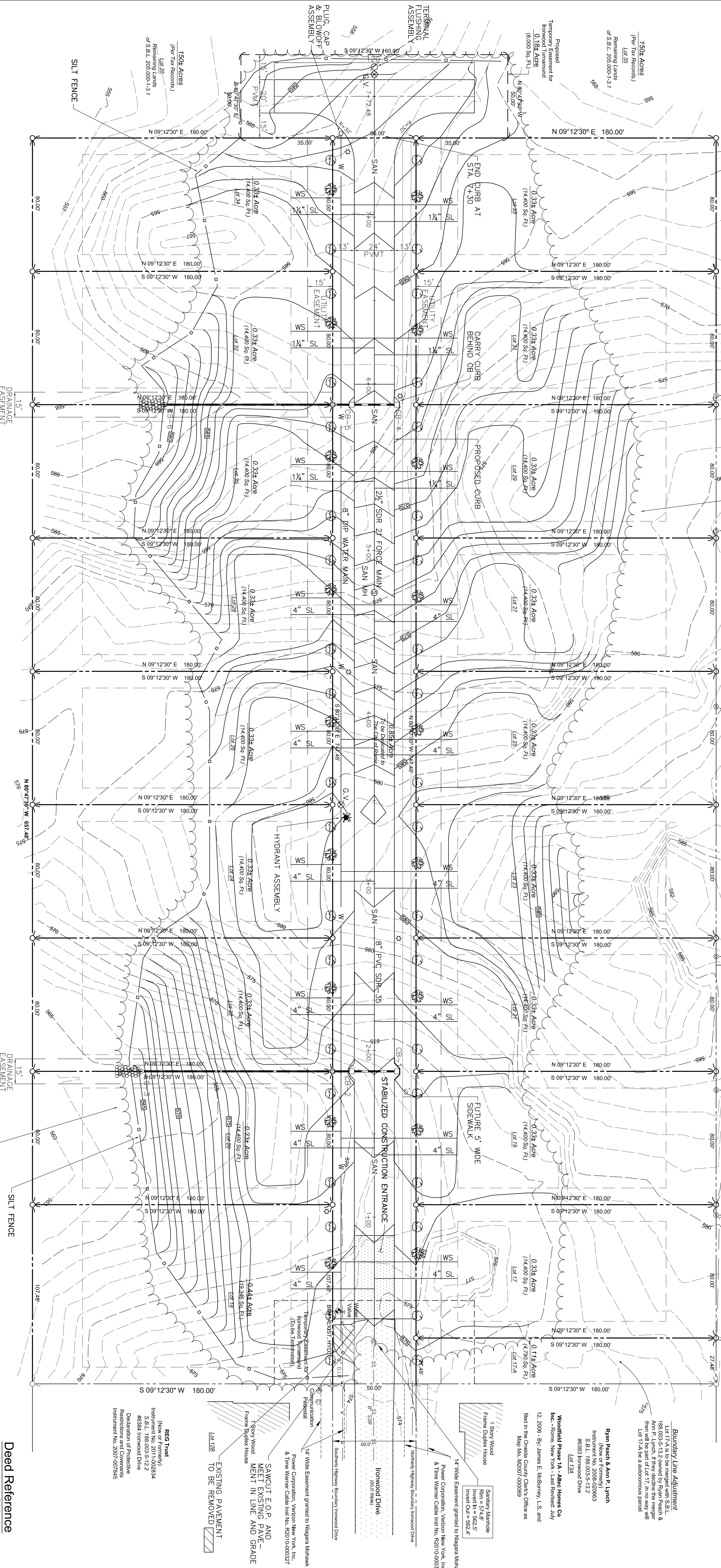
DATE	BY	REVISION
12/20/24	E.J.L	LP & SW
02/12/25	E.J.L	REVISED
02/28/25	E.J.L	TREES
03/24/25	E.J.L	REVISED

# PROPOSED SITE PLAN WITH GRADING & EROSION CONTROL

BOULDER CONSULTANTS

COPPER HILL VILLAGE SUBDIVISION  
CITY OF ROME  
COUNTY OF ONEIDA  
STATE OF NEW YORK

SCALE: 1"=30'	DATE: 11/13/24
DWN. BY: EJL	CKD. BY: DDE
JOB NO.: 24175	FILE: WOODSITE



## Legend

- |     |                                  |
|-----|----------------------------------|
| ③   | Existing 5/8" Iron Rebar         |
| ○   | 5/8" Iron Rebar (To be Set)      |
| ●   | Fire Hydrant                     |
| ⊗   | Existing Iron Pipe               |
| —   | Underground Gas Line             |
| —   | Underground Electric Line        |
| \$  | Underground Sanitary Sewer Line  |
| ~   | Underground Water Line           |
| 570 | Existing Contour                 |
| 550 | Proposed Contour                 |
| 🐜   | Proposed Hydrant                 |
| ☆   | Proposed Light Pole              |
| —   | Proposed Limit of Disturbed Area |
| —   | Stiff Penae                      |

## Planting Legend

- |                         | Proposed Sugar Maple | Proposed Flowering Crabapple |
|-------------------------|----------------------|------------------------------|
| 1. Tree Size            | 20-30' tall          | 15-25' tall                  |
| 2. Tree Shape           | Round canopy         | Spreading canopy             |
| 3. Bark Color           | Gray                 | Gray                         |
| 4. Bark Texture         | Smooth               | Smooth                       |
| 5. Leaf Color           | Green                | Green                        |
| 6. Leaf Shape           | Heart-shaped         | Heart-shaped                 |
| 7. Leaf Size            | 3-5" long            | 3-5" long                    |
| 8. Leaf Margin          | Serrated             | Serrated                     |
| 9. Flower Color         | White                | White                        |
| 10. Flower Size         | 1-2" across          | 1-2" across                  |
| 11. Flower Shape        | Star-shaped          | Star-shaped                  |
| 12. Fruit Color         | Red                  | Red                          |
| 13. Fruit Size          | 1-2" across          | 1-2" across                  |
| 14. Fruit Shape         | Round                | Round                        |
| 15. Fruit Texture       | Smooth               | Smooth                       |
| 16. Fruit Persistence   | Yes                  | Yes                          |
| 17. Fruit Use           | Yes                  | Yes                          |
| 18. Fruit Attraction    | Yes                  | Yes                          |
| 19. Fruit Availability  | Yes                  | Yes                          |
| 20. Fruit Season        | Yes                  | Yes                          |
| 21. Fruit Color         | Red                  | Red                          |
| 22. Fruit Size          | 1-2" across          | 1-2" across                  |
| 23. Fruit Shape         | Round                | Round                        |
| 24. Fruit Texture       | Smooth               | Smooth                       |
| 25. Fruit Persistence   | Yes                  | Yes                          |
| 26. Fruit Use           | Yes                  | Yes                          |
| 27. Fruit Attraction    | Yes                  | Yes                          |
| 28. Fruit Availability  | Yes                  | Yes                          |
| 29. Fruit Season        | Yes                  | Yes                          |
| 30. Fruit Color         | Red                  | Red                          |
| 31. Fruit Size          | 1-2" across          | 1-2" across                  |
| 32. Fruit Shape         | Round                | Round                        |
| 33. Fruit Texture       | Smooth               | Smooth                       |
| 34. Fruit Persistence   | Yes                  | Yes                          |
| 35. Fruit Use           | Yes                  | Yes                          |
| 36. Fruit Attraction    | Yes                  | Yes                          |
| 37. Fruit Availability  | Yes                  | Yes                          |
| 38. Fruit Season        | Yes                  | Yes                          |
| 39. Fruit Color         | Red                  | Red                          |
| 40. Fruit Size          | 1-2" across          | 1-2" across                  |
| 41. Fruit Shape         | Round                | Round                        |
| 42. Fruit Texture       | Smooth               | Smooth                       |
| 43. Fruit Persistence   | Yes                  | Yes                          |
| 44. Fruit Use           | Yes                  | Yes                          |
| 45. Fruit Attraction    | Yes                  | Yes                          |
| 46. Fruit Availability  | Yes                  | Yes                          |
| 47. Fruit Season        | Yes                  | Yes                          |
| 48. Fruit Color         | Red                  | Red                          |
| 49. Fruit Size          | 1-2" across          | 1-2" across                  |
| 50. Fruit Shape         | Round                | Round                        |
| 51. Fruit Texture       | Smooth               | Smooth                       |
| 52. Fruit Persistence   | Yes                  | Yes                          |
| 53. Fruit Use           | Yes                  | Yes                          |
| 54. Fruit Attraction    | Yes                  | Yes                          |
| 55. Fruit Availability  | Yes                  | Yes                          |
| 56. Fruit Season        | Yes                  | Yes                          |
| 57. Fruit Color         | Red                  | Red                          |
| 58. Fruit Size          | 1-2" across          | 1-2" across                  |
| 59. Fruit Shape         | Round                | Round                        |
| 60. Fruit Texture       | Smooth               | Smooth                       |
| 61. Fruit Persistence   | Yes                  | Yes                          |
| 62. Fruit Use           | Yes                  | Yes                          |
| 63. Fruit Attraction    | Yes                  | Yes                          |
| 64. Fruit Availability  | Yes                  | Yes                          |
| 65. Fruit Season        | Yes                  | Yes                          |
| 66. Fruit Color         | Red                  | Red                          |
| 67. Fruit Size          | 1-2" across          | 1-2" across                  |
| 68. Fruit Shape         | Round                | Round                        |
| 69. Fruit Texture       | Smooth               | Smooth                       |
| 70. Fruit Persistence   | Yes                  | Yes                          |
| 71. Fruit Use           | Yes                  | Yes                          |
| 72. Fruit Attraction    | Yes                  | Yes                          |
| 73. Fruit Availability  | Yes                  | Yes                          |
| 74. Fruit Season        | Yes                  | Yes                          |
| 75. Fruit Color         | Red                  | Red                          |
| 76. Fruit Size          | 1-2" across          | 1-2" across                  |
| 77. Fruit Shape         | Round                | Round                        |
| 78. Fruit Texture       | Smooth               | Smooth                       |
| 79. Fruit Persistence   | Yes                  | Yes                          |
| 80. Fruit Use           | Yes                  | Yes                          |
| 81. Fruit Attraction    | Yes                  | Yes                          |
| 82. Fruit Availability  | Yes                  | Yes                          |
| 83. Fruit Season        | Yes                  | Yes                          |
| 84. Fruit Color         | Red                  | Red                          |
| 85. Fruit Size          | 1-2" across          | 1-2" across                  |
| 86. Fruit Shape         | Round                | Round                        |
| 87. Fruit Texture       | Smooth               | Smooth                       |
| 88. Fruit Persistence   | Yes                  | Yes                          |
| 89. Fruit Use           | Yes                  | Yes                          |
| 90. Fruit Attraction    | Yes                  | Yes                          |
| 91. Fruit Availability  | Yes                  | Yes                          |
| 92. Fruit Season        | Yes                  | Yes                          |
| 93. Fruit Color         | Red                  | Red                          |
| 94. Fruit Size          | 1-2" across          | 1-2" across                  |
| 95. Fruit Shape         | Round                | Round                        |
| 96. Fruit Texture       | Smooth               | Smooth                       |
| 97. Fruit Persistence   | Yes                  | Yes                          |
| 98. Fruit Use           | Yes                  | Yes                          |
| 99. Fruit Attraction    | Yes                  | Yes                          |
| 100. Fruit Availability | Yes                  | Yes                          |
| 101. Fruit Season       | Yes                  | Yes                          |
| 102. Fruit Color        | Red                  | Red                          |
| 103. Fruit Size         | 1-2" across          | 1-2" across                  |
| 104. Fruit Shape        | Round                | Round                        |
| 105. Fruit Texture      | Smooth               | Smooth                       |
| 106. Fruit Persistence  | Yes                  | Yes                          |
| 107. Fruit Use          | Yes                  | Yes                          |
| 108. Fruit Attraction   | Yes                  | Yes                          |
| 109. Fruit Availability | Yes                  | Yes                          |
| 110. Fruit Season       | Yes                  | Yes                          |
| 111. Fruit Color        | Red                  | Red                          |
| 112. Fruit Size         | 1-2" across          | 1-2" across                  |
| 113. Fruit Shape        | Round                | Round                        |
| 114. Fruit Texture      | Smooth               | Smooth                       |
| 115. Fruit Persistence  | Yes                  | Yes                          |
| 116. Fruit Use          | Yes                  | Yes                          |
| 117. Fruit Attraction   | Yes                  | Yes                          |
| 118. Fruit Availability | Yes                  | Yes                          |
| 119. Fruit Season       | Yes                  | Yes                          |
| 120. Fruit Color        | Red                  | Red                          |
| 121. Fruit Size         | 1-2" across          | 1-2" across                  |
| 122. Fruit              |                      |                              |

## Planting Notes

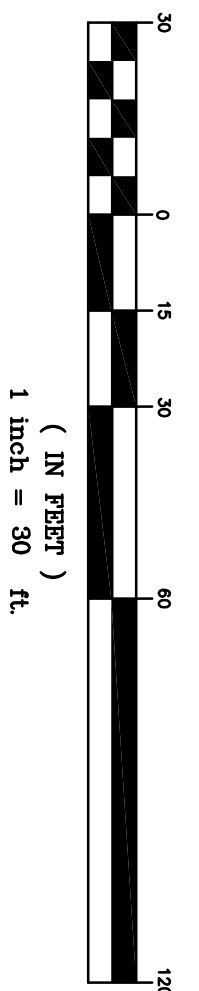
1. Completely remove all weeds, debris, large rocks, etc. from all proposed plant beds.
2. All plant beds are to be at least 24" from bed edge.
3. All trees & shrubs are to be "ball & burlap" at planting.
4. All plants are to be seeded shall receive a 1/4 layer of screened topsoil, at a minimum.
5. All areas to be seeded shall receive 10-40 fertilizer at a rate of 25 lbs. per 1000 sq. ft. from the fertilizer lightly into the topsoil.
6. Seed with the approved lawn seed mixture at a rate of 6 lbs. per 1000 sq. ft.
7. The contractor shall be responsible for continuous maintenance until acceptance by the City. The seed bed areas shall be covered with a uniform stand of specified grasses, providing these cuttings.
8. Provide one year guarantee on all plant materials with subsequent one year guarantee on any replacements.

- Planting soil mix shall consist of the following:
  - Quantity of loose peat humus to topsoil by volume: 1:3
  - Quantity of commercial peat and caliche mulch for forest: 1:4 (0.92)
  - Quantity of commercial peat and caliche mulch for grassland: 1:2 (0.5)
  - Weight of moisture release granules per caliche mulch of tree: 1.0 oz.
  - Weight of slow-release commercial fertilizer per 1000 sq. ft.: 6 lbs.

### Deed Reference

To  
**James J. Cliente**  
Warranty Deed - Dated: July 6, 2000  
Liber 2926 of Deed at Page 450  
S.B.L. 205.000-1-3.1

## GRAPHIC SCALE



DONALD D. EHRE, P.E., P.L.L.C.  
4 OXFORD CROSSING, SUITE 102, NEW HARTFORD, NY 13413 (315) 797-6088





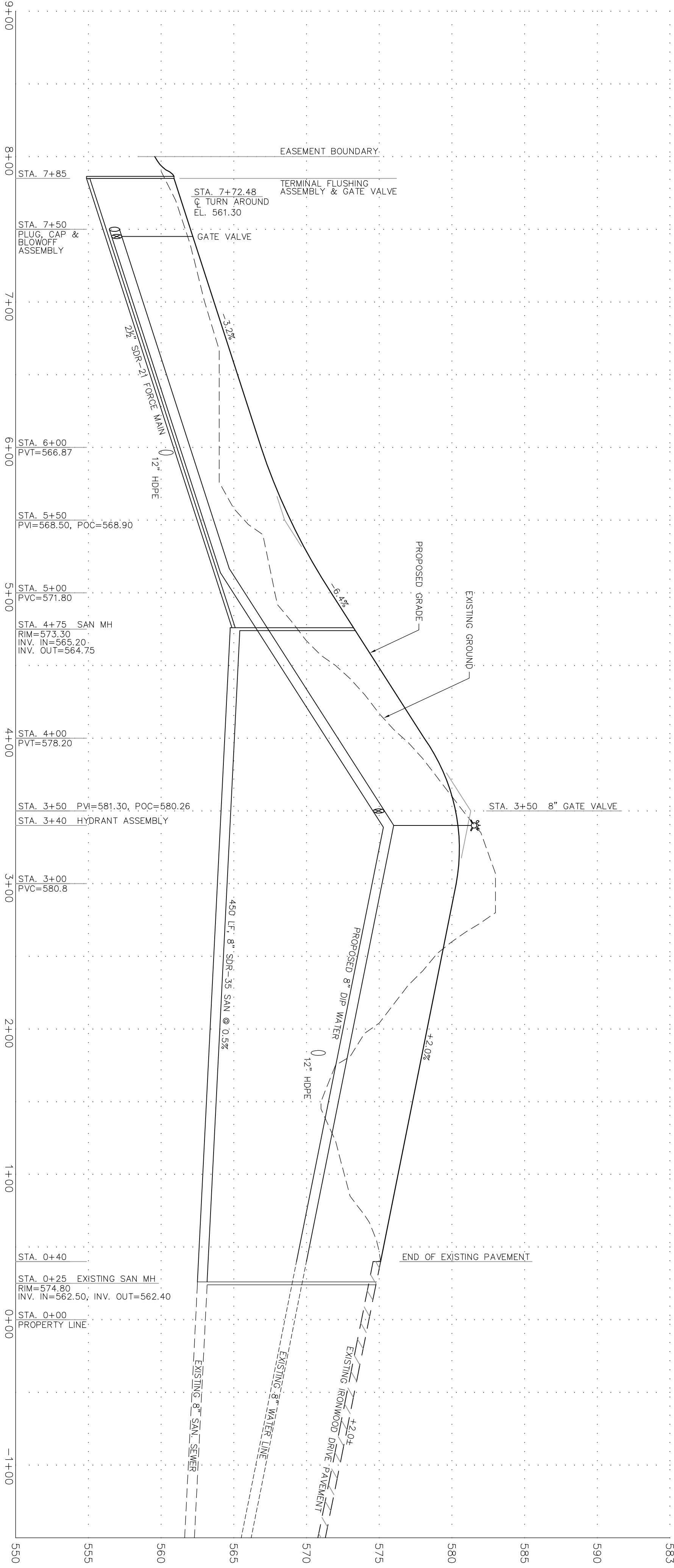
WARNING: It is a violation of New York State Law for any person to prepare, or cause to be prepared, a professional engineering drawing or specification, or to offer this document in any way, in a document bearing the seal of a Professional Engineer, unless the person is a duly licensed Professional Engineer. The seal of a Professional Engineer shall only be used in a document prepared by, or under the direct supervision and control of, a duly licensed Professional Engineer. The seal of a Professional Engineer shall not be used in a document prepared by, or under the direct supervision and control of, a person who is not a duly licensed Professional Engineer. The seal of a Professional Engineer shall not be used in a document prepared by, or under the direct supervision and control of, a person who is not a duly licensed Professional Engineer.

DATE BY REVISION


DONALD D. EHRE, P.E., P.L.L.C.  
4 OXFORD CROSSING, SUITE 102, NEW HARTFORD, NY 13413 (315) 797-6088

BOULDER CONSULTANTS  
COPPER HILL VILLAGE SUBDIVISION  
CITY OF ROME  
COUNTY OF ONEIDA  
STATE OF NEW YORK

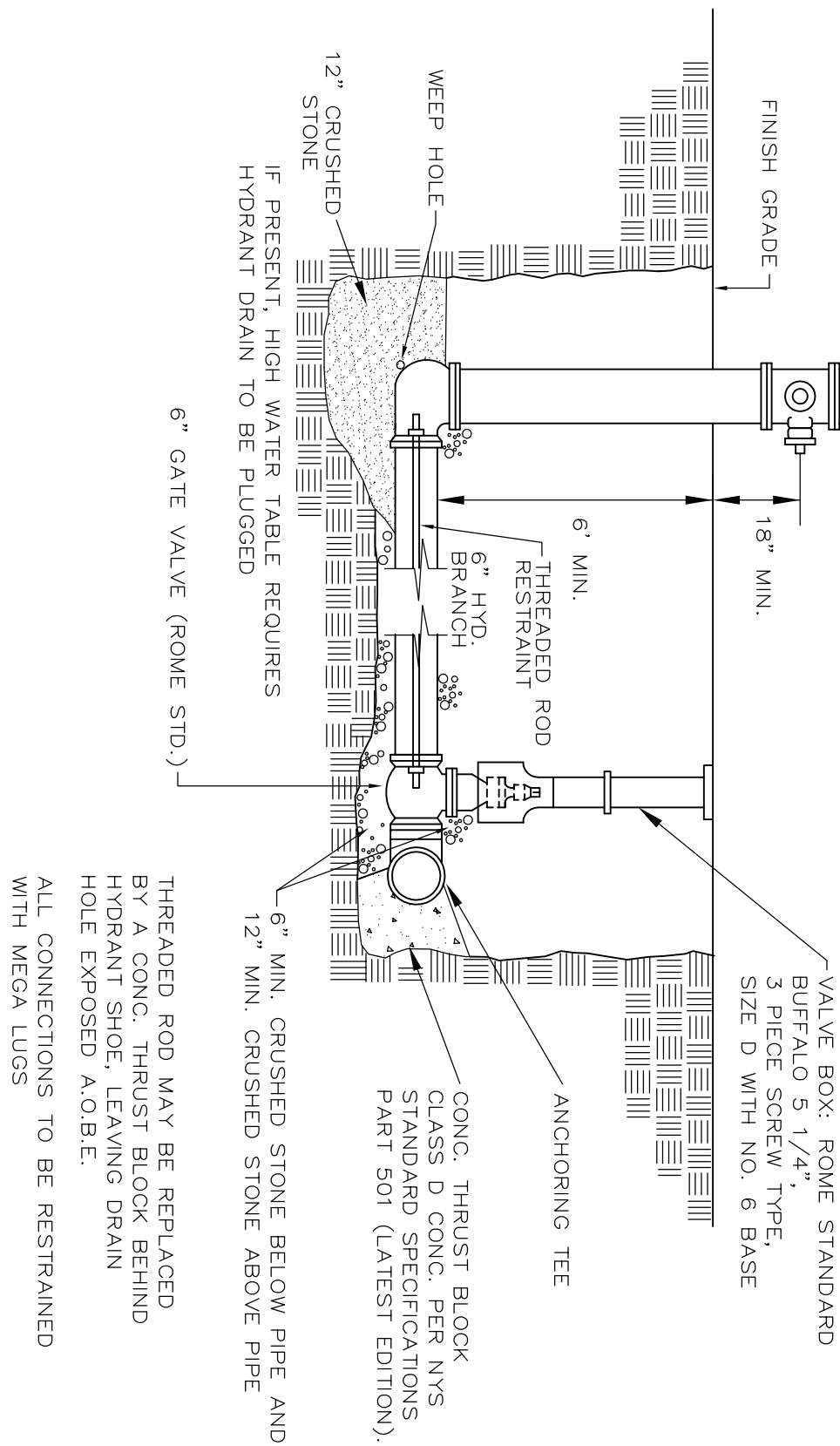
ROAD & UTILITY PROFILE



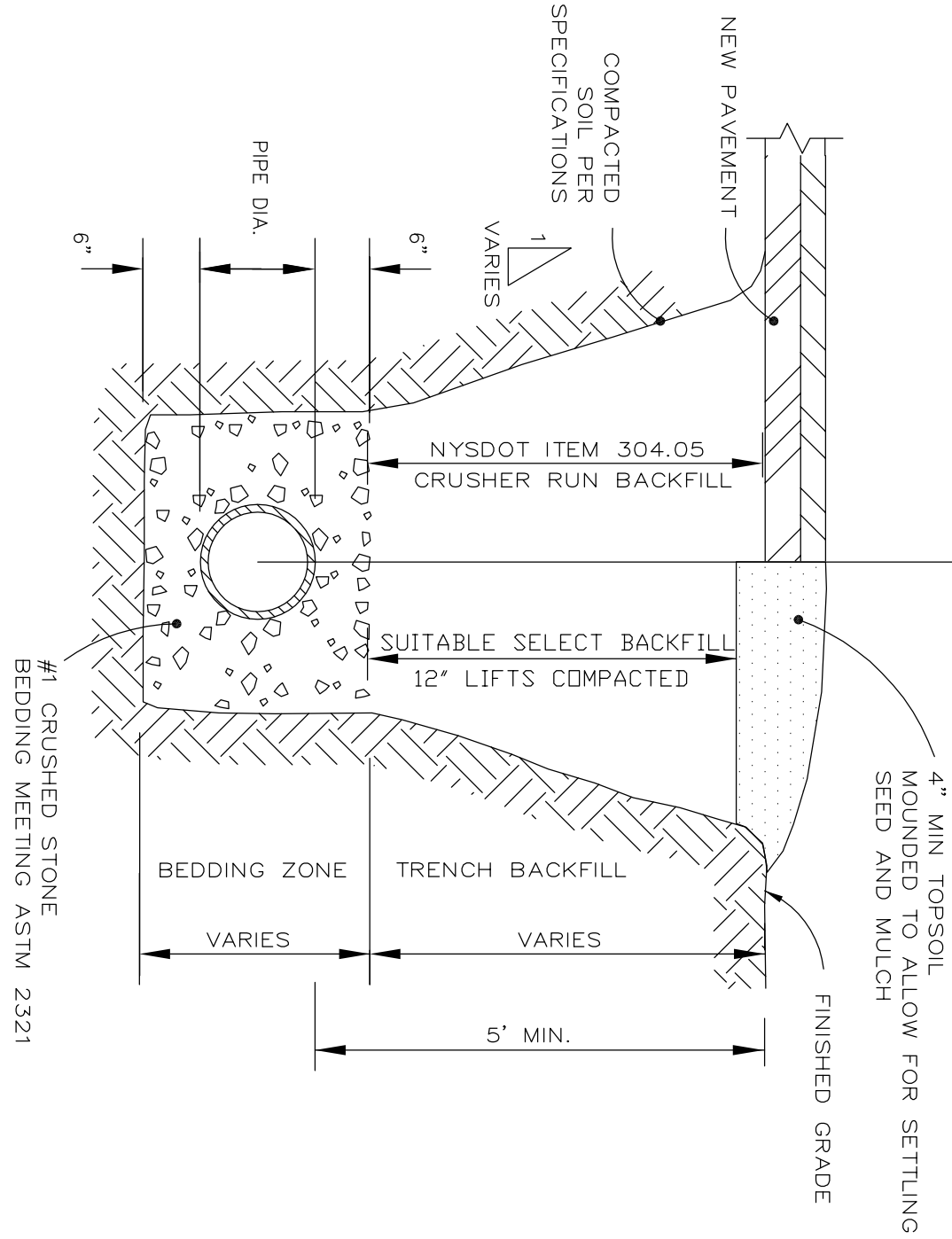
ROAD AND UTILITY PROFILE  
SCALE: 1"=50' HORIZ.  
1"=5' VERT.

SCALE:	DATE:
AS SHOWN	11/13/24
DWN. BY:	CKD. BY:
E.L.	DDE
JOB NO.: 24175	FILE:
DWG. NO.: W000DET	
SHEET 4	

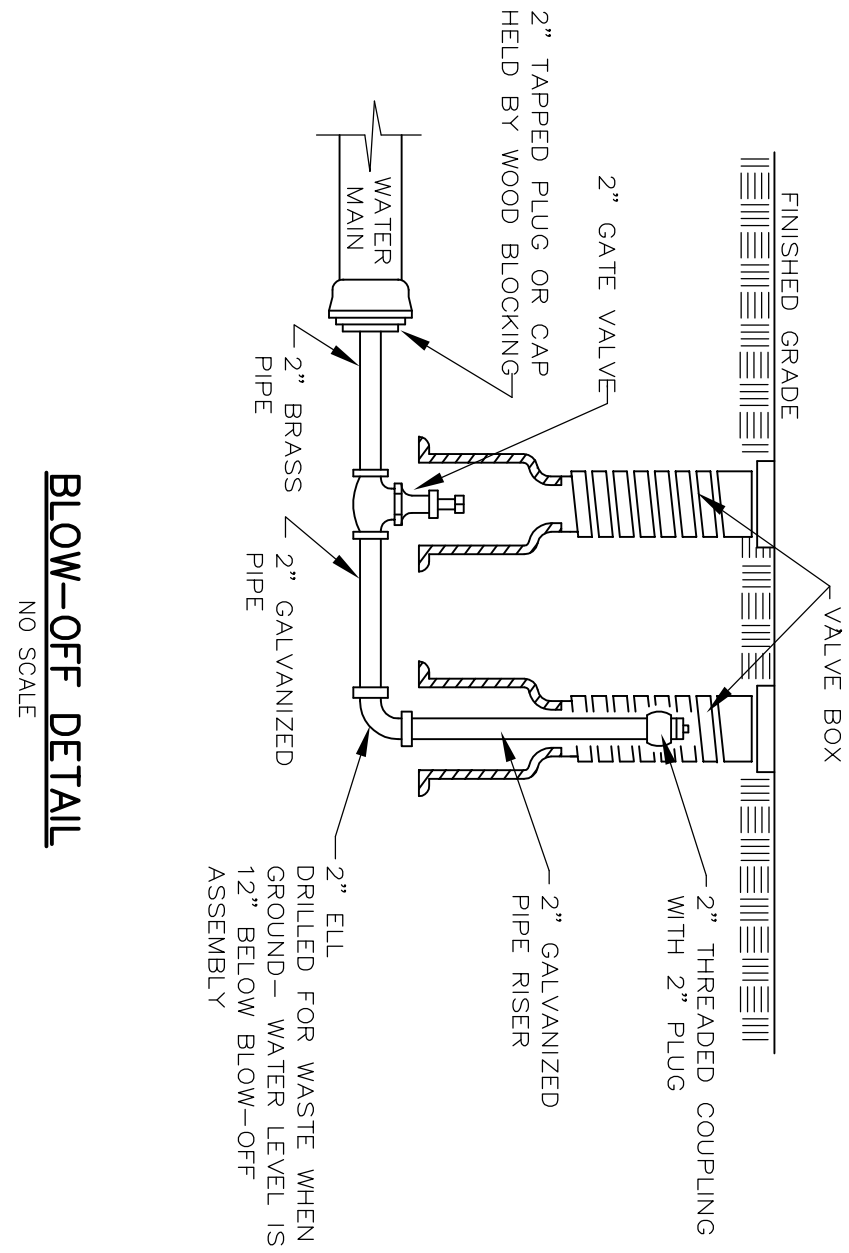
MUELLER CENTURION HYDRANT MODEL #A421 FOR  
BRENCH, 6 MECHANICAL JOINT INLET, 5.25 OPENING,  
BONNET, CONCRETE BASE, 1/2" THRUST BLOCK,  
OR AS APPROVED BY THE CITY OF ROME.



HYDRANT DETAIL  
NO SCALE

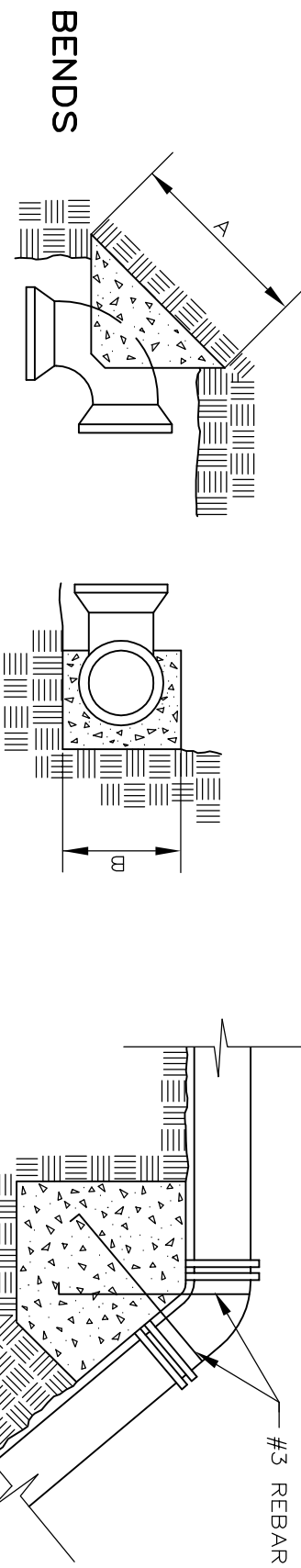
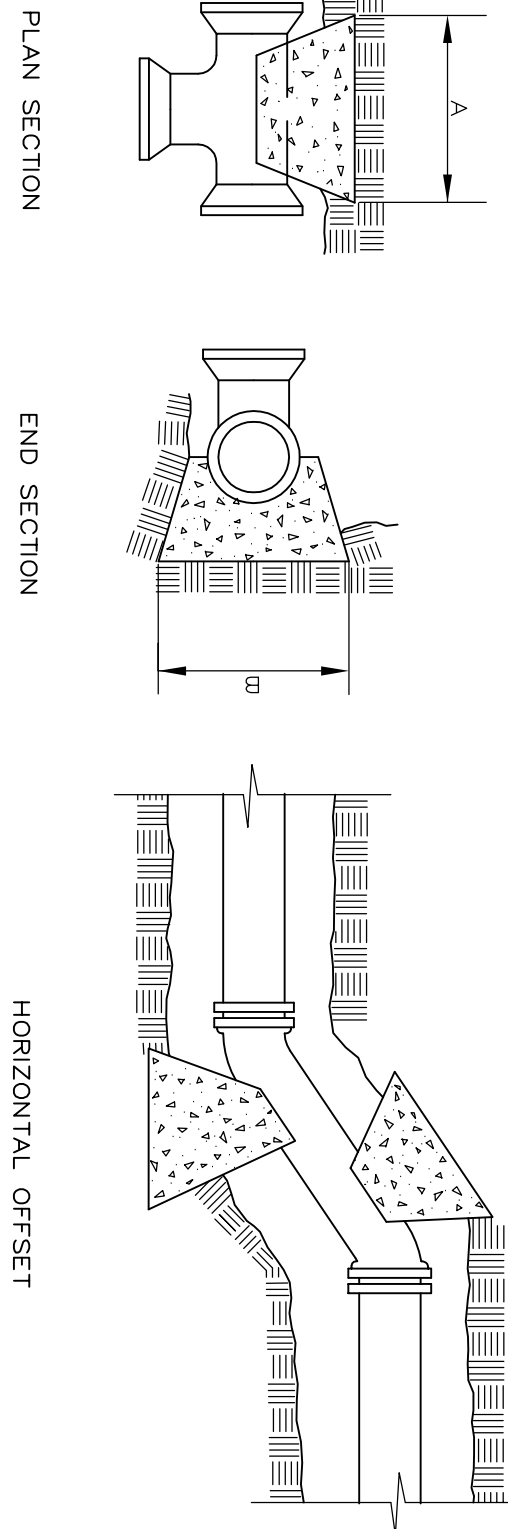


TYPICAL WATER LINE SECTION  
NO SCALE



BLOW-OFF DETAIL  
NO SCALE

TEES



PLAN SECTION

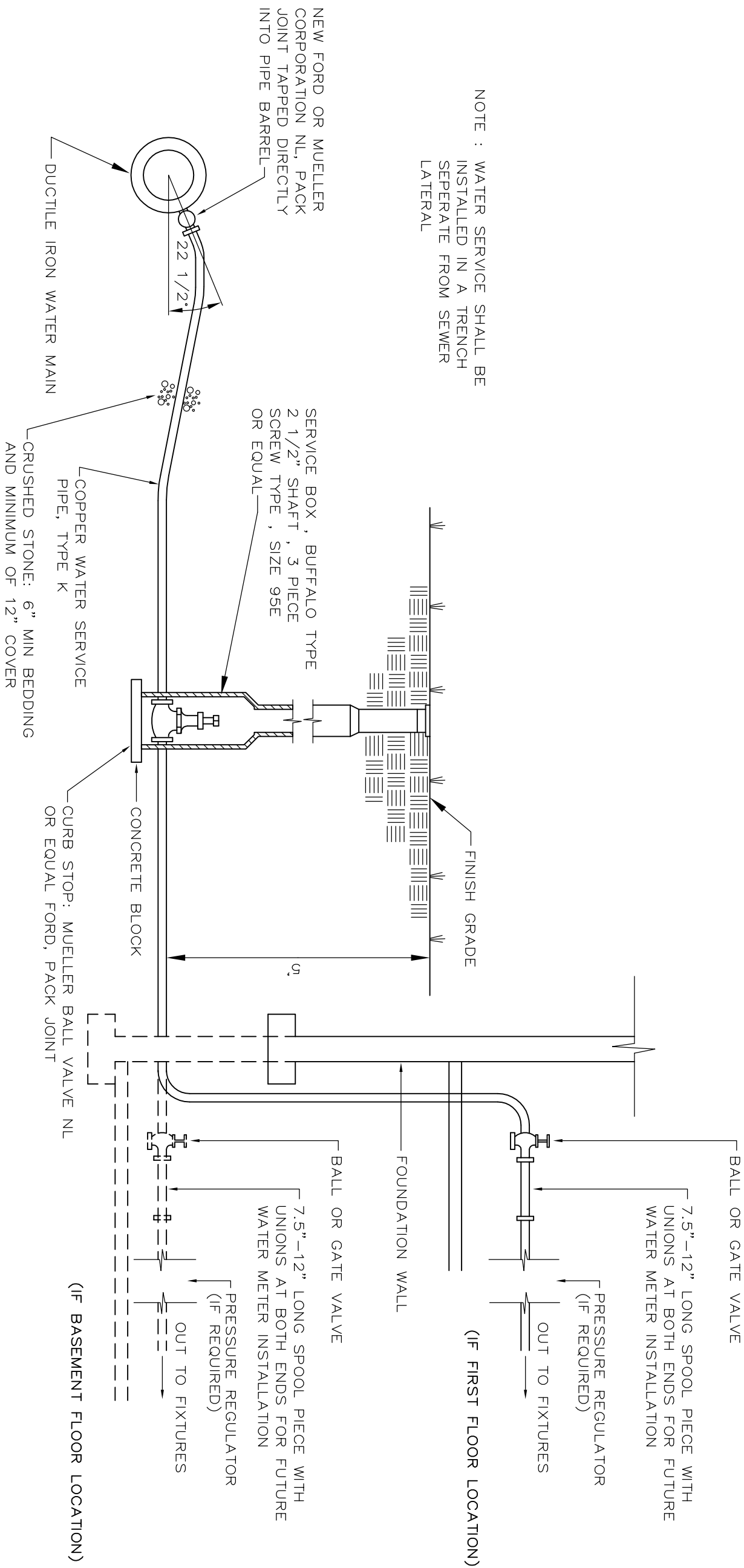
END SECTION

VERTICAL BEND

MIN. DIM. OF CLASS D* CONC. THRUST BLOCKS											
PIPE SIZE	11 1/4" BEND	22 1/2" BEND	45" BEND	90" BEND	TEE						
4"	A	B	A	B	A	B	A	B	A	B	
6"	12"	12"	12"	12"	15"	15"	12"	12"	12"	12"	
8"	12"	12"	12"	16"	16"	22"	22"	22"	22"	22"	
10"	14"	14"	15"	21"	21"	29"	29"	24"	24"	30"	
12"	15"	15"	20"	27"	27"	35"	35"	30"	30"	36"	
16"	22"	22"	23"	31"	31"	42"	42"	36"	36"	48"	
20"	26"	26"	30"	41"	41"	57"	57"	48"	48"	60"	
24"	32"	32"	37"	52"	52"	70"	70"	60"	60"	72"	

\* CLASS D CONC. PER NYS  
STANDARD SPECIFICATIONS  
PART 501 (LATEST EDITION).

THRUST BLOCK DETAILS  
NO SCALE



DOMESTIC SERVICE DETAIL  
NO SCALE

CITY OF ROME

SPECIFICATIONS OF MATERIALS FOR WATER MAINS AND SERVICES

PIPE:

DUCTILE IRON, CLASS 52 PER SPECIFICATIONS AWWA C151: C111 (PUSH-ON JOINT), C104 CEMENT LINING (INSIDE) AND ASPHALTIC COATINGS (OUTSIDE) AND TWO BRASS WEDGES PER JOINT.

FITTINGS:

CAST OR DUCTILE IRON PER SPECIFICATIONS AWWA C110: C153: C111 (MECHANICAL JOINT), C104 CEMENT LINING (INSIDE) AND ASPHALTIC COATINGS (OUTSIDE) WITH TWO EACH MECHANICAL JOINT RETAINER KITS/FITTING.

FITTINGS (HYDRANT):

IN ADDITION TO "FITTINGS" SPECIFICATIONS, HYDRANT TEES SHALL BE ANCHORING TYPE. MANUFACTURER: CLOW F-1217 OR APPROVED EQUAL. ALL EXPOSED BOLTS TO BE STAINLESS STEEL GRADE 304.

VALVES:

GATE VALVES AWWA C509: C111 (MECHANICAL JOINT); OPEN PER CITY OF ROME STANDARD: MANUFACTURER: KENNEDY KNESEAL II OR APPROVED EQUAL WITH TWO EACH MECHANICAL JOINT RETAINER KITS/VALVE. ALL EXPOSED BOLTS TO BE STAINLESS STEEL GRADE 304.

HYDRANTS:

AWWA C502: C111 (MECHANICAL JOINT CONNECTION - 6"); OPEN COUNTER- CLOCKWISE, 5 1/2" BURY, 2-2 1/2" AND 1-1/2" OUTLETS, 4 1/2" BOTTOM VALVE OPENING, PAINTED RED WITH YELLOW BONNET AND NOZZLE CAPS (PRIVATE HYDRANTS ARE TO BE PAINTED RED). HYDRANT THREAD AND OPERATING NUTS SHALL CONFORM TO "ROME", OR OTHER THREADING AS APPROVED BY THE CITY OF ROME FOR THE AREA BEING SERVED. MANUFACTURER: MUELLER CENTURION MODEL #A421.

VALVE BOXES:

"BUFFALO" STYLE - 5 1/2" DIAMETER, 3 PIECE SCREW TYPE, SIZE D WITH NO. 6 BASE. TAPPING SLEEVES AND TAPPING VALVES. CLOW F-5205 AND F-5093 OR APPROVED EQUAL. "FAST TAP" NOT ALLOWED. ALL EXPOSED BOLTS TO BE STAINLESS STEEL GRADE 304.

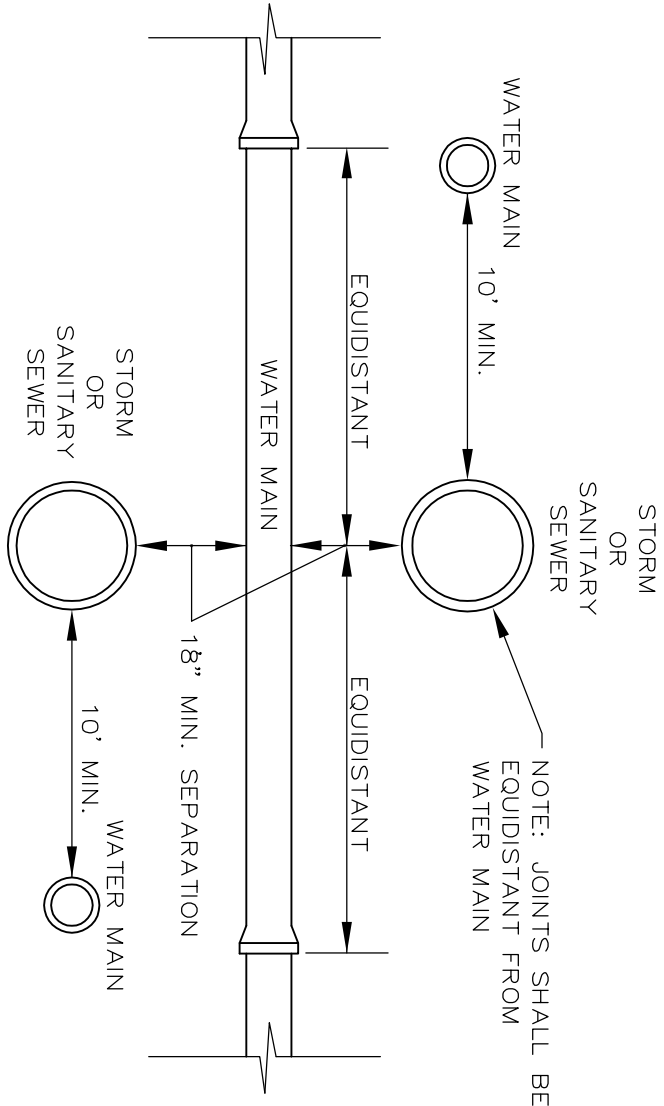
SERVICE LINES:

FOLLOWING SERVICE LINE MATERIALS FOR 3/4" OR 1" SIZE CORPORATION STOPS:

MUELLER H-15000 OR APPROVED EQUAL.  
COPPER TUBING: TYPE K, ASTM B88 (USE 3/4" DIAMETER WHEN PRESSURE IS GREATER THAN 50 PSI) OR USE 1/2" DIAMETER FOR PRESSURE LESS THAN 50 PSI). CURB STOPS: MUELLER TYPE 2 1/2" SHAFT, THREE PIECE SCREW TYPE, SIZE 95E OR APPROVED EQUAL.  
PRESSURE REGULATOR: REQUIRED WHEN WATER PRESSURE EXCEEDS 70 PSI.

WATER LINE NOTES

1. MANUFACTURER'S CERTIFICATION OF ALL MATERIALS USED MUST BE PROVIDED TO THE ENGINEER.
2. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S GUIDELINES. THE SPECIFICATIONS OF THE CITY OF ROME, OR AS SHOWN ON THESE PLANS, WHICHEVER IS MOST STRINGENT.
3. LINES SHALL BE PRESSURE TESTED FOR LEAKAGE BY THE CONTRACTOR IN ACCORDANCE WITH AWWA C-600, SECTION 4, (LATEST EDITION), AND THE REQUIREMENTS OF THE CITY OF ROME, WHICHEVER IS MORE STRINGENT. THE CONTRACTOR SHALL NOTIFY THE CITY A MINIMUM OF 24 HOURS PRIOR TO TESTING. TESTING SHALL BE WITNESSED BY THE CITY'S INSPECTOR.
4. DISINFECTION WILL BE PERFORMED BY THE CONTRACTOR AFTER ALL LINES HAVE BEEN INSTALLED AND BEFORE ANY FINAL GRADE OR FINISHING. THE CONTRACTOR SHALL FURNISH AND MAINTAIN A PRESSURIZED STATE FLOW THE RESIDUALS FLOW BUT NOT LESS THAN 42 GPM FOR THE NEW YORK STATE DEPARTMENT OF HEALTH. TESTING SHALL BE PERFORMED AT A STATE APPROVED LABORATORY.
5. A 10' MINIMUM HORIZONTAL DISTANCE SHALL BE MAINTAINED BETWEEN THE WATER MAIN AND ANY SANITARY SEWER OR STORM DRAINAGE PIPE. AT LOCATIONS WHERE THE WATERLINE AND SANITARY SEWER OR STORM DRAINAGE LINES CROSS EACH OTHER, A MINIMUM CLEAR DISTANCE OF 18" SHALL BE MAINTAINED. NO TAPS TO THE MAINS WILL BE PERMITTED UNTIL BUILDING PERMIT IS ISSUED.
6. THE WATERLINE SHALL BE LAID WITH A COVER OF 5 FEET BELOW FINISHED (PROPOSED) GRADE.
7. FOR PUSH-ON JOINT PIPE THE MAXIMUM JOINT DEFLECTION IS 4 DEGREES. FOR 18 FOOT LENGTHS THE MINIMUM CURVE RADIUS EQUALS 260 FEET. FOR TIGHTER CURVES, BENDS ARE REQUIRED.
8. DISINFECTION WATER SHALL BE DISCHARGED TO AN AREA APPROVED BY THE ENGINEER OR COLLECTED AND REMOVED FROM THE SITE TO AN APPROVED DISPOSAL AREA. NO DISINFECTION WATER SHALL BE DISCHARGED TO AN EXISTING STREAM OR WETLAND AREA.
9. IF PERMANENT AIR VENTS ARE NOT LOCATED AT THE HIGH POINTS, THE CONTRACTOR SHALL INSTALL CORPORATION COCKS AT SUCH POINTS SO THAT THE AIR CAN BE EXPELLED AS THE LINE IS FILLED WITH WATER. AFTER ALL THE AIR HAS BEEN EXPELLED, THE CORPORATION COCKS SHALL BE CLOSED AND THE TEST PRESSURE APPLIED. AT THE CONCLUSION OF THE PRESSURE TEST, THE CORPORATION COCKS SHALL BE REMOVED AND PLUGGED, OR LEFT IN PLACE AT THE DISCRETION OF THE CITY.



SEPARATION DETAIL OF WATER MAIN AND SEWERS  
NO SCALE



WARNING: It is a violation of New York State Law for any person to prepare, or cause to be prepared, a document bearing the seal of a Professional Engineer, or to use such a document, unless the Engineer shall first be duly licensed by the State of New York. The seal of a Professional Engineer shall only be used in connection with a specific description of the work for which the Engineer is licensed.

DATE BY REVISION

02/24/25 E.L. REVISED

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# SANITARY SEWER INSTALLATION NOTES

PIPE

1. PIPE SHALL BE PVC TYPE PN9, MEETING ASTM D-3034, LATEST EDITION;
2. PIPE STANDARD SHALL BE SDR-35, MINIMUM
3. PIPE JOINTS SHALL BE RING-TYPE, MEETING ASTM D-1869;
4. BELL ENDS SHALL BE LAID UPHILL.
5. MAXIMUM SPACING BETWEEN CLEANOUTS IS 75 FEET
6. NO CELLAR BRAINS, SLUMP PUMPS, OR ROOF LEADERS SHALL BE CONNECTED TO THE SANITARY SEWER.
7. NO LINE SHALL BE COVERED UNTIL INSPECTED BY THE
8. WHERE GROUNDWATER IS PRESENT, CLAY DAMS SHALL BE CONSTRUCTED AT 100 FOOT INTERVALS. THE DAMS SHALL BE A MINIMUM OF 18 INCHES THICK AND EXTEND THE FULL HEIGHT AND WIDTH OF THE TRENCH.

MANHOLES:

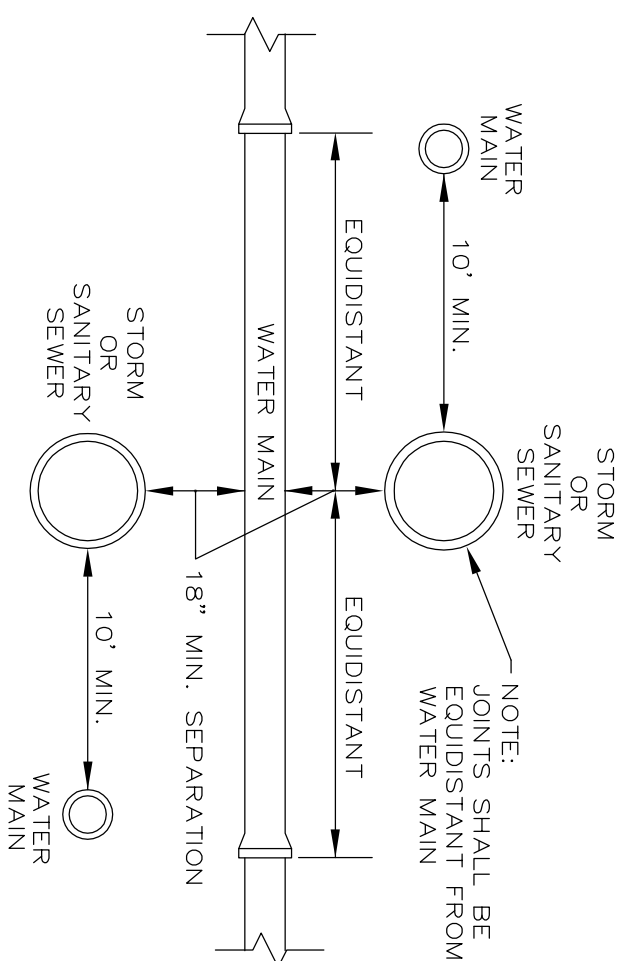
1. MANHOLES SHALL BE PRECAST REINFORCED CONCRETE STRUCTURES MEETING ASTM C-478.
2. STEPS SHALL BE IN ALIGNMENT VERTICALLY AND CENTERED OVER A BENCH AREA.
3. STEPS SHALL PROJECT A MINIMUM OF 5 INCHES BEYOND THE INTERIOR MANHOLE WALL.
4. MANHOLE COVER SHALL BE HEAVY DUTY CASTING, IMPRINTED WITH THE WORDS "SANITARY SEWER", STRAUSS CASTINGS #1009, OR EQUAL.

## TESTING

1. TESTING SHALL MEET THE CURRENT REQUIREMENTS OF THE CITY OR AS SET FORTH BELOW. ALL TESTING MUST BE WITNESSED BY THE ENGINEER ON TESTING.
2. PIGGING AND/OR TESTING  
ALL LINES SHALL HAVE A PIGGING DEVICE PULLED THROUGH THEM CAPABLE OF TESTING THE LINES FOR ROUNDNESS OF THE INSTALLED LINE. THE PIG SHALL BE A RIGID CIRCULAR OR SPHERICAL DEVICE WITH AN OUTSIDE DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE LINE.
3. LAMPED (ALUMINUM) TESTING  
ALL LINES SHALL BE VISUALLY LAMPED FOR ALIGNMENT, A "FULL-MOON" MUST BE VISIBLE.
4. AIR PRESSURE (LEAKAGE) TESTING  
ALL SANITARY SEWER LINES SHALL BE TESTED UNDER A MINIMUM AIR PRESSURE OF 3.5 PSIG ABOVE ANY EXISTING WATER BACKPRESSURE ON A MINIMUM OF 10 PSI FOR THE TESTING PERIOD.
5. MANHOLE WATER (EXFILTRATION) TESTING  
ALL SANITARY SEWER MANHOLES SHALL BE WATER TESTED BY PLUGGING THE POINT LINE AND FILLING THE MANHOLE WITH WATER TO A LEVEL AT LEAST ONE FOOT ABOVE THE TOP OF THE LINE. AFTER 24 HOURS, THE DROP IN THE WATER LEVEL SHALL BE MEASURED AND THE LOSS CALCULATED. THE ALLOWABLE LOSS SHALL BE EQUAL TO 100 GALLONS/INCH-MILE/DAY.

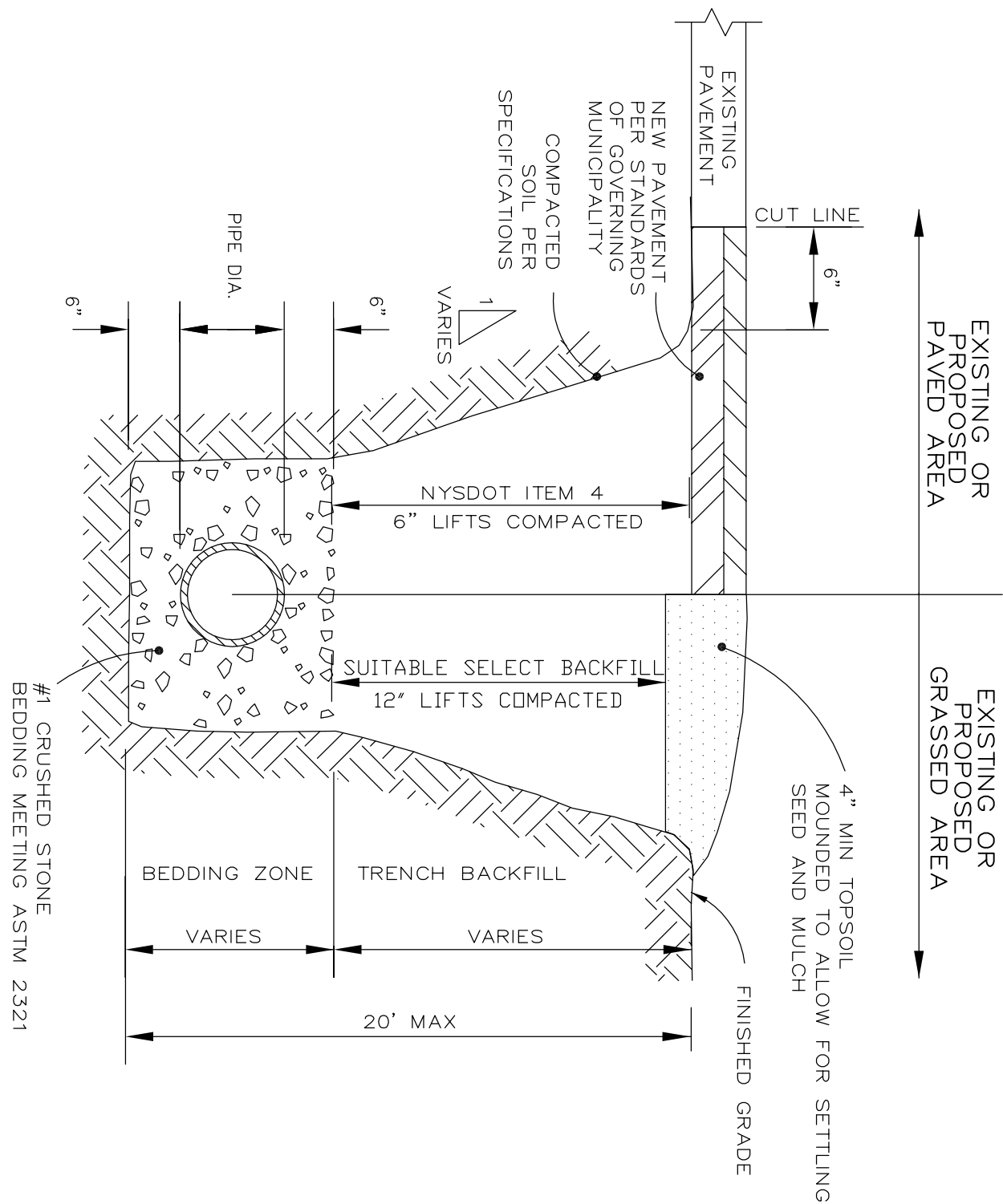
## GENERAL

1. THE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL HE HAS SUBMITTED MATERIALS CERTIFICATES TO THE ENGINEER AND THESE HAVE BEEN RETURNED TO HIM STAMPED "APPROVED".
2. CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE CITY INSPECTOR AT LEAST 24 HOURS PRIOR TO STARTING ANY WORK.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS RELATING TO THE WORK.



SEPARATION DETAIL  
WATER MAINS AND SEWERS

NO SCALE

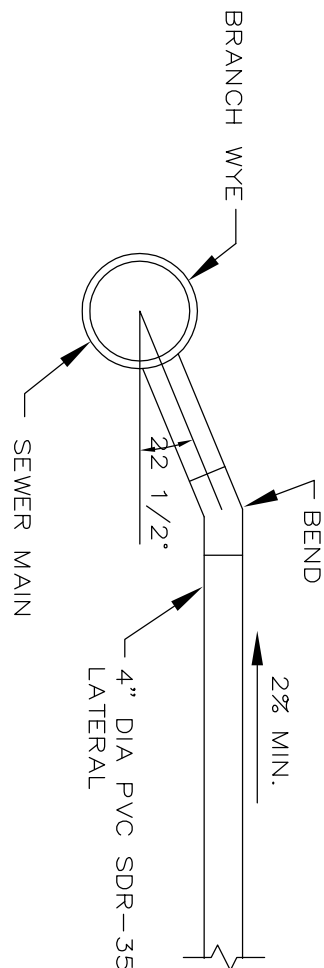


### TYPICAL SANITARY TRENCH SECTION

NO SCALE

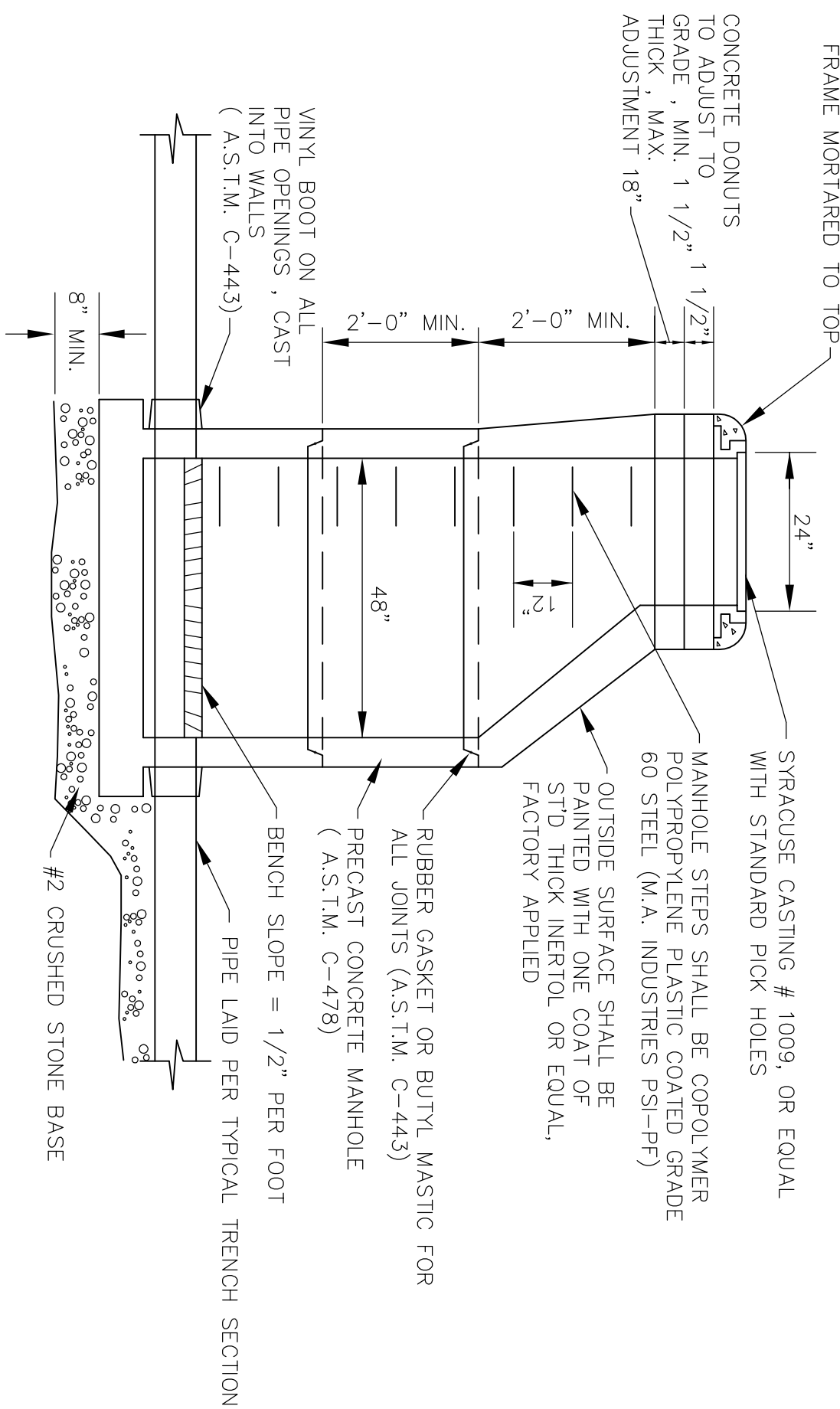
NOTE:

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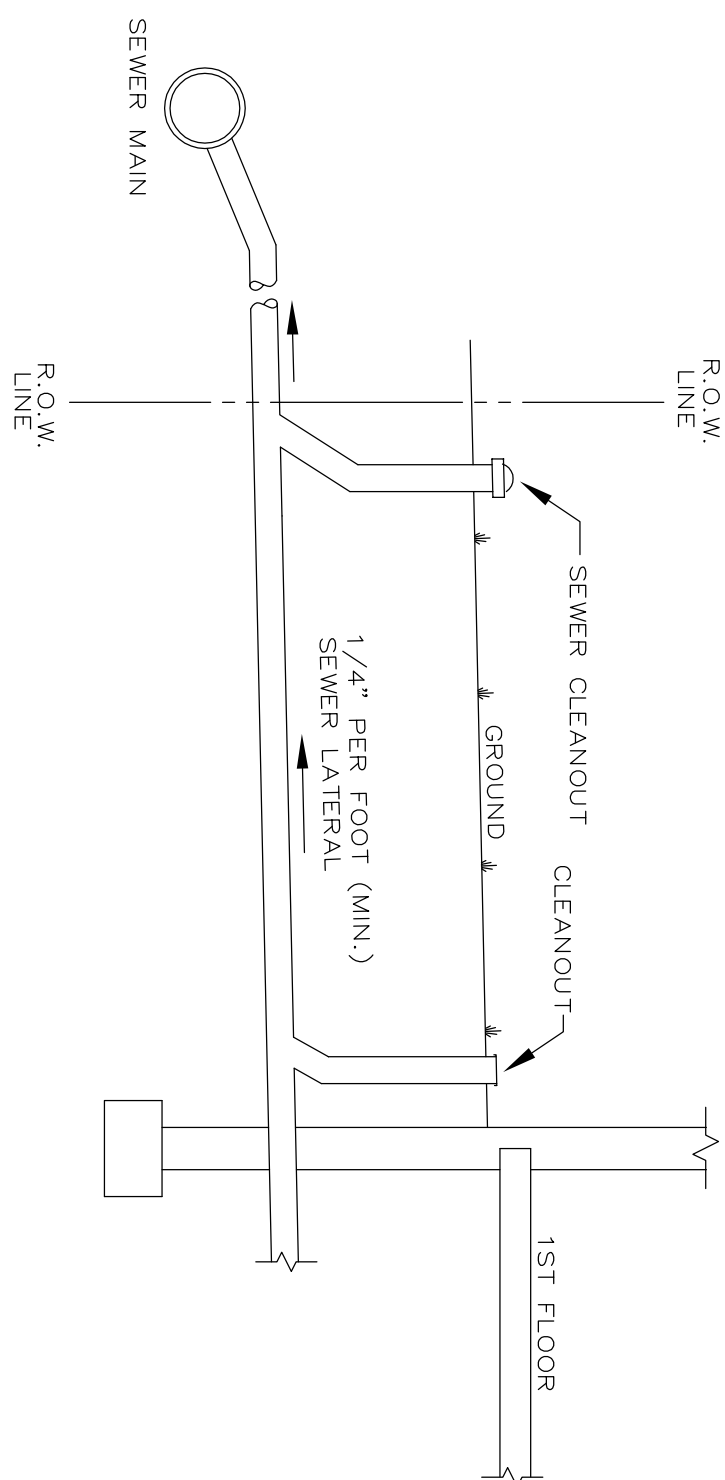
## LATERAL DETAIL

NO SCALE



# SANITARY SEWER MANHOLE DETAIL

NO SCALE



## TYPICAL HOUSE CONNECTION

NO SCALE

NOTE:  
SANITARY SEWER CONTRACTOR SHALL  
CONSTRUCT EACH LATERAL SUCH THAT  
IT'S TERMINUS AT THE RIGHT OF WAY  
LINE IS NO GREATER THAN 12 FT.  
BELOW THE PROPOSED FINISH GRADE.

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## SANITARY DETAILS FOR GRAVITY SEWERS

BOULDER CONSULTANTS

COPPER HILL VILLAGE SUBDIVISION  
CITY OF ROME  
COUNTY OF ONEIDA  
STATE OF NEW YORK

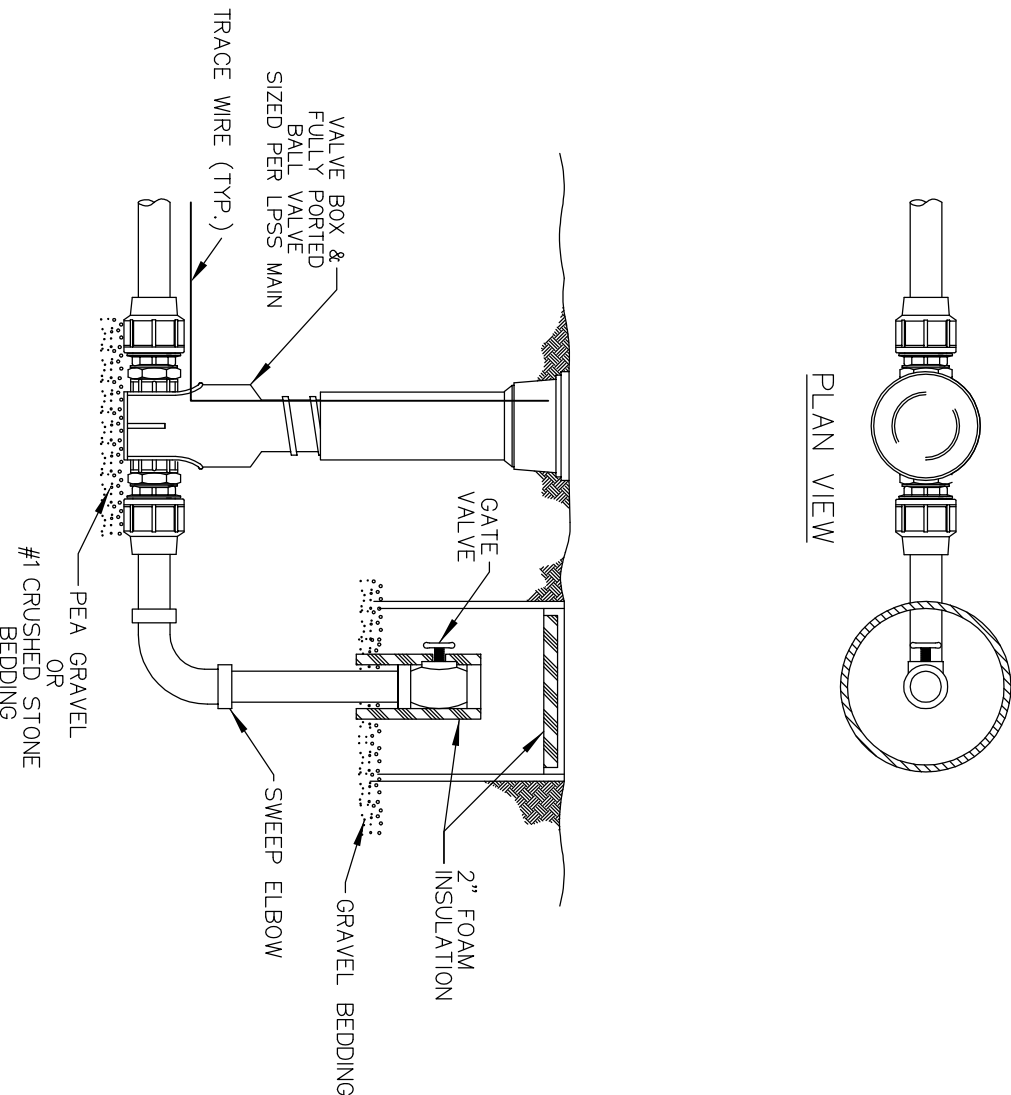
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AS SHOWN	11/13/24
DWN. BY:	CKD. BY:
EJL	DDE
JOB NO.:	FILE:
24175	WOODET

DWG. NO.:  
**SHEET 6**




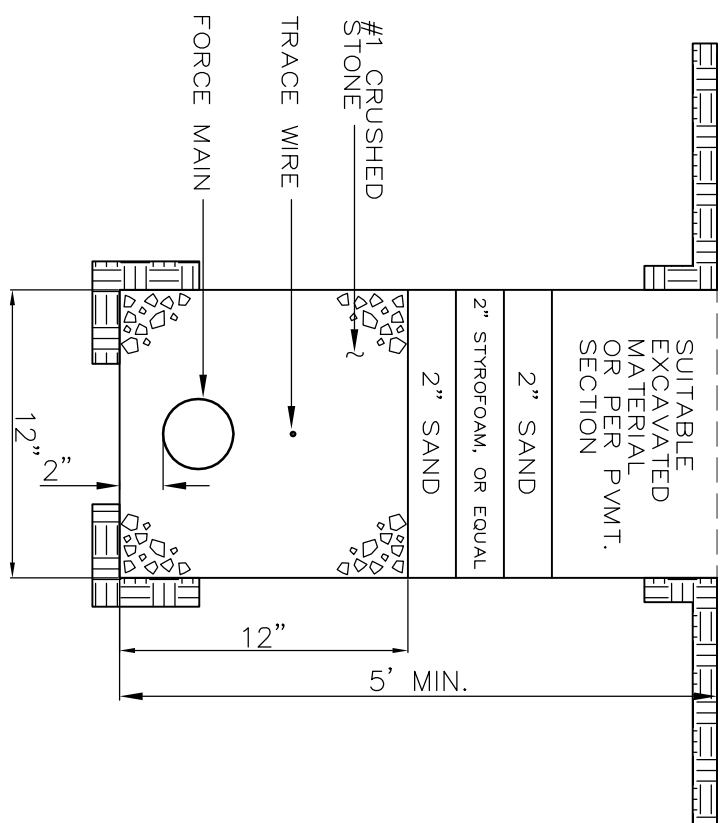
# SANITARY SEWER NOTES

1. ALL FLOOR MANIFES SHALL BE 2.5" SCH40E 371 UNITS PVC WITH SOLVENT WELDED JOINTS AND TRACER WIRE.
2. ALL PUMP STATIONS SHALL BE E-CONE MODEL DH-071 UNITS. PUMP STATIONS SHALL BE COMPLETE WITH
3. PUMP, CHECK VALVE, SENTRY PANEL, (ALARM) AND WET WELL.
4. ALL SANITARY LATERALS SHALL BE 1 1/2" SDR-21 PVC.
5. ALL LATERAL VALVE KITS (CURB STOPS) SHALL BE INSTALLED AT THE RIGHT-OF-WAY LINE ON EACH SANITARY LATERAL.
6. ALL MAIN LINES SHALL BE PRESSURE TESTED AT 16 PSI FOR 1 HOUR WITH A MAXIMUM LOSS OF 0.5 PSI.



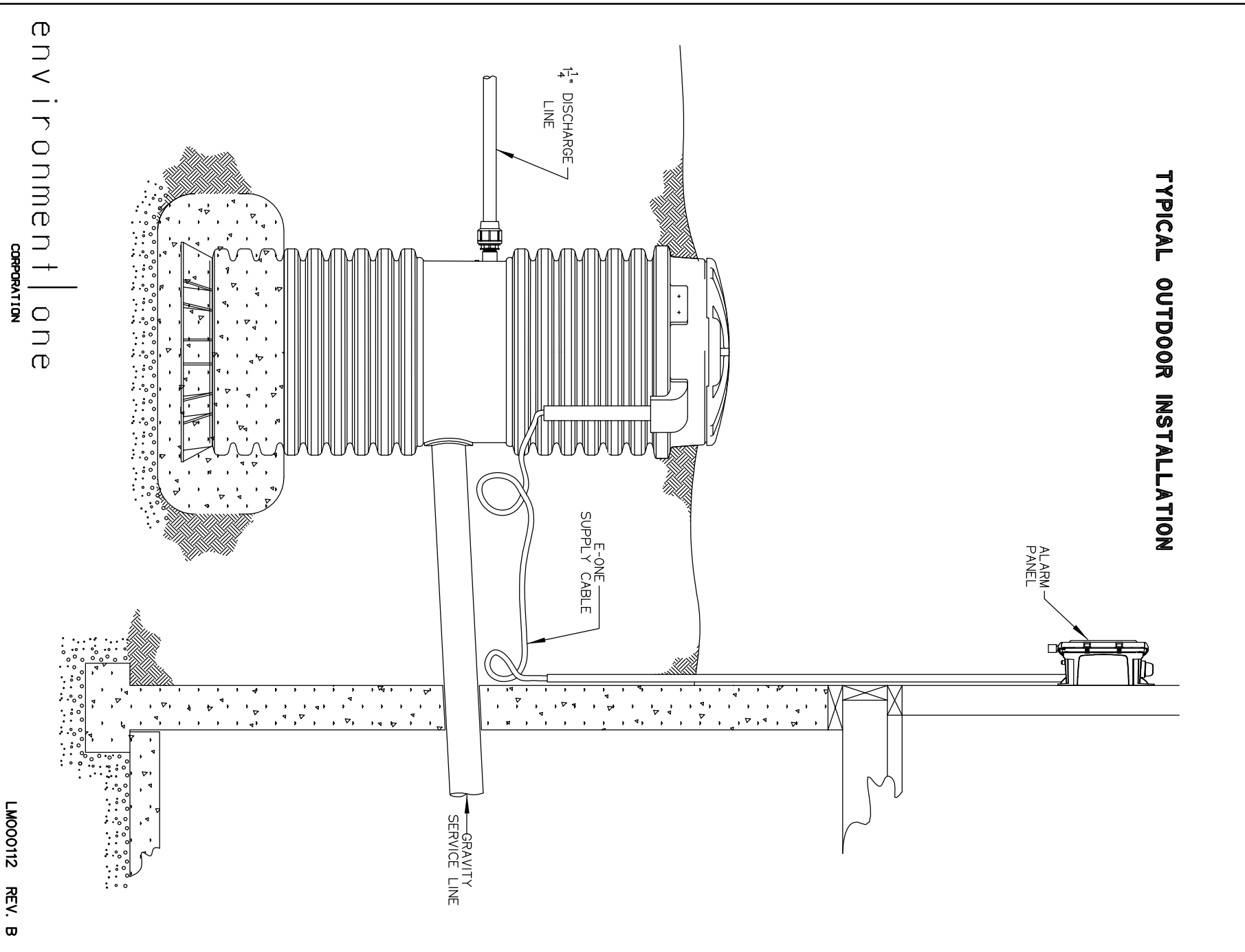
### TYPICAL TERMINAL FLUSHING CONNECTION

S&S	05-13-10		1	1/23
DR BY	CHK'D	DATE	ISSUE	SCALE
				
<b>SEWER SYSTEMS</b> TYPICAL TERMINAL FLUSHING CONNECTION				
ESD 10-0094				

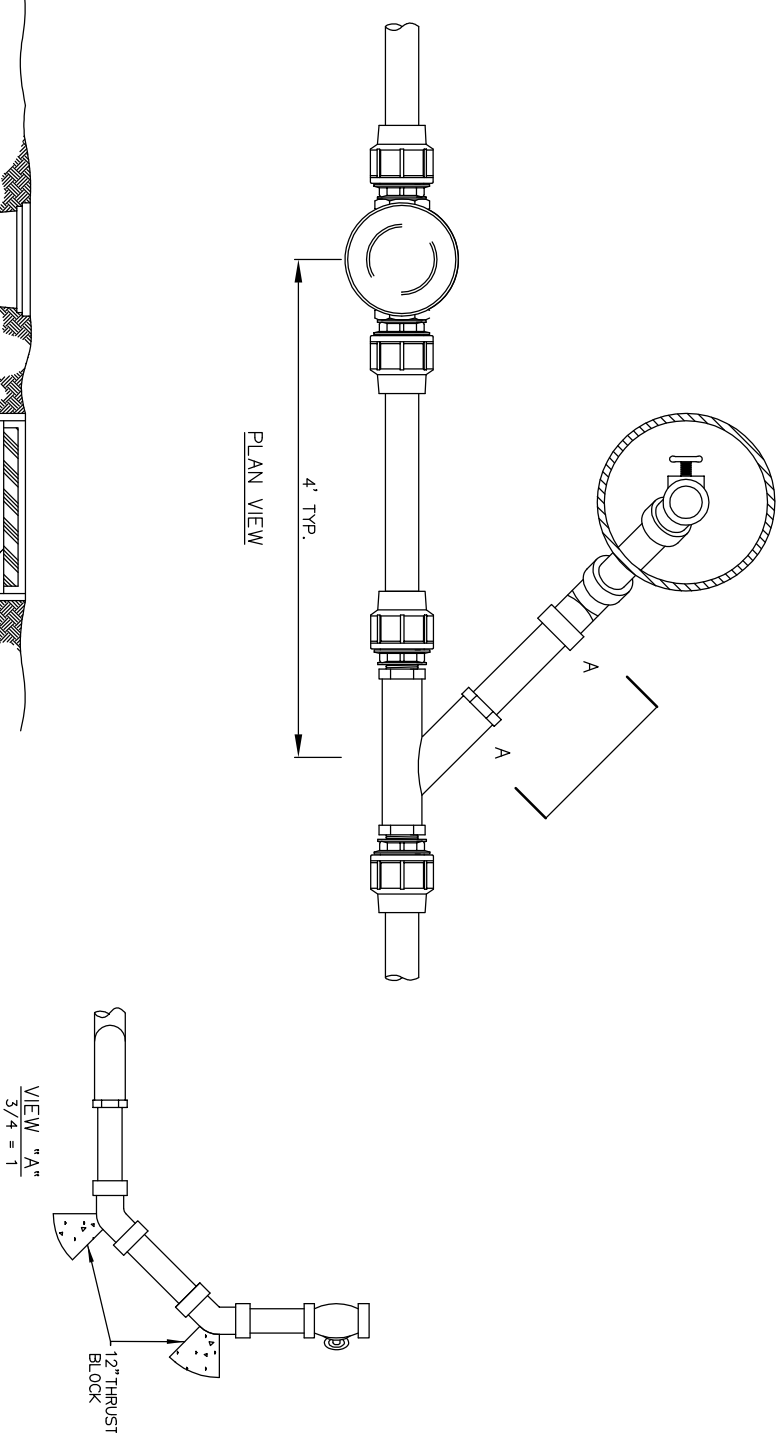


FORCE MAIN DETAIL AT FLUSHING CONNECTIONS,  
LINE VALVES AND LATERAL LOCATIONS

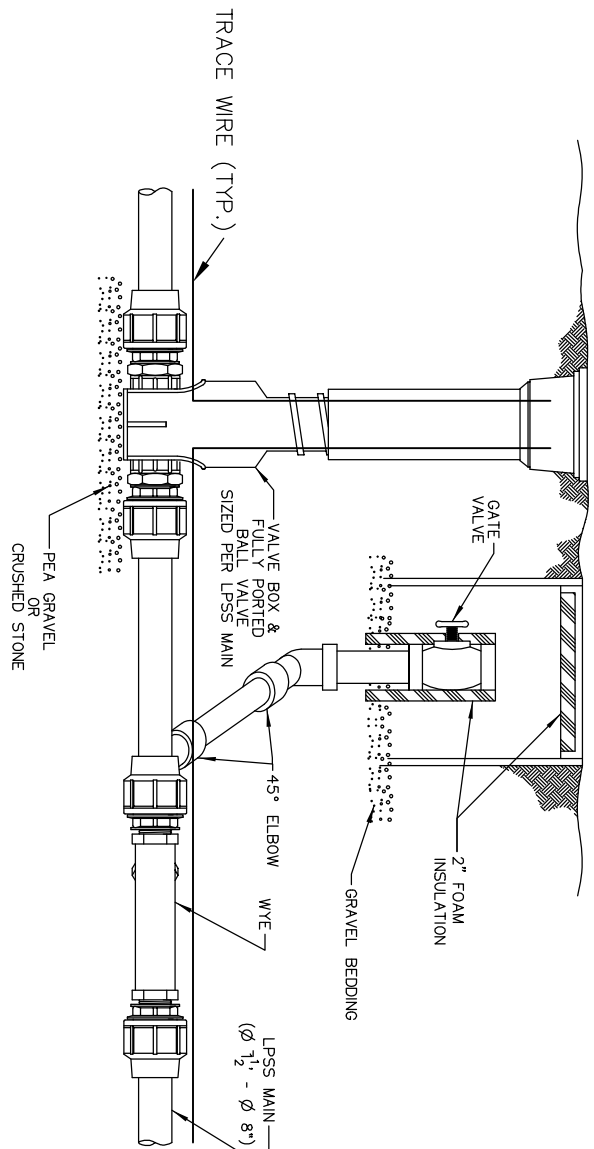
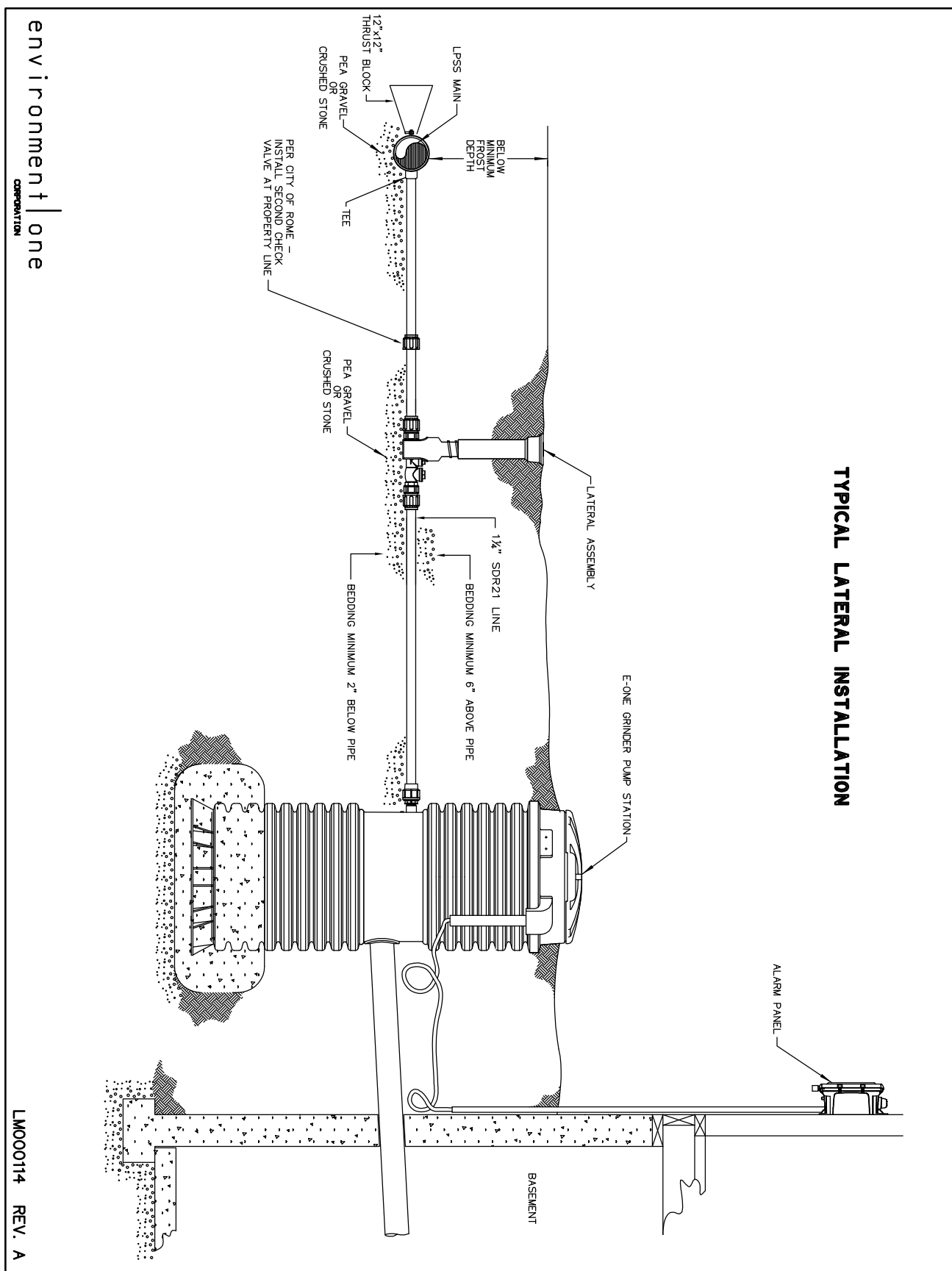
NOTE: STONE & SAND TO BE FULL WIDTH OF TRENCH



## TYPICAL OUTDOOR INSTALLATION

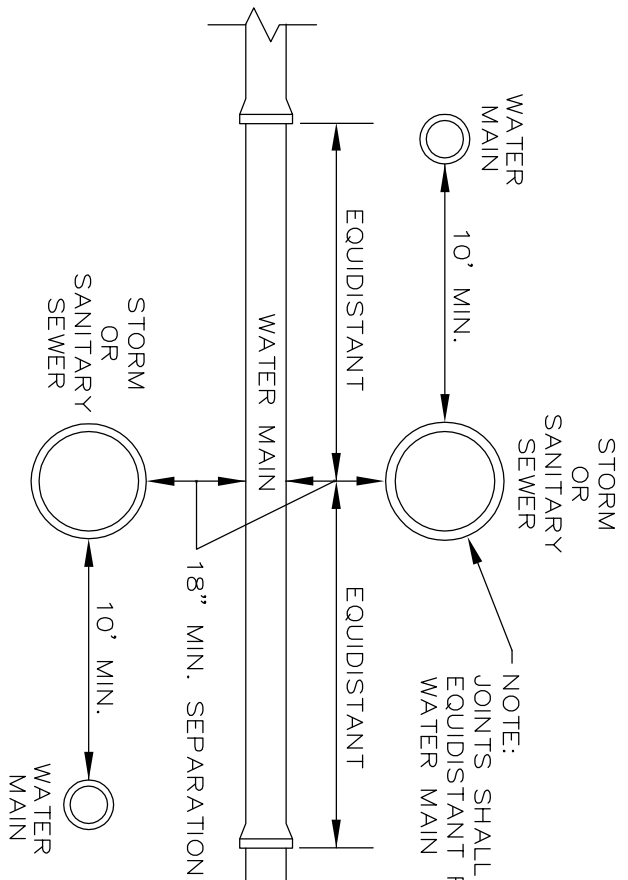


**TYPICAL FLUSHING CONNECTION ON LPSS MAIN**

environment | one  
CORPORATION

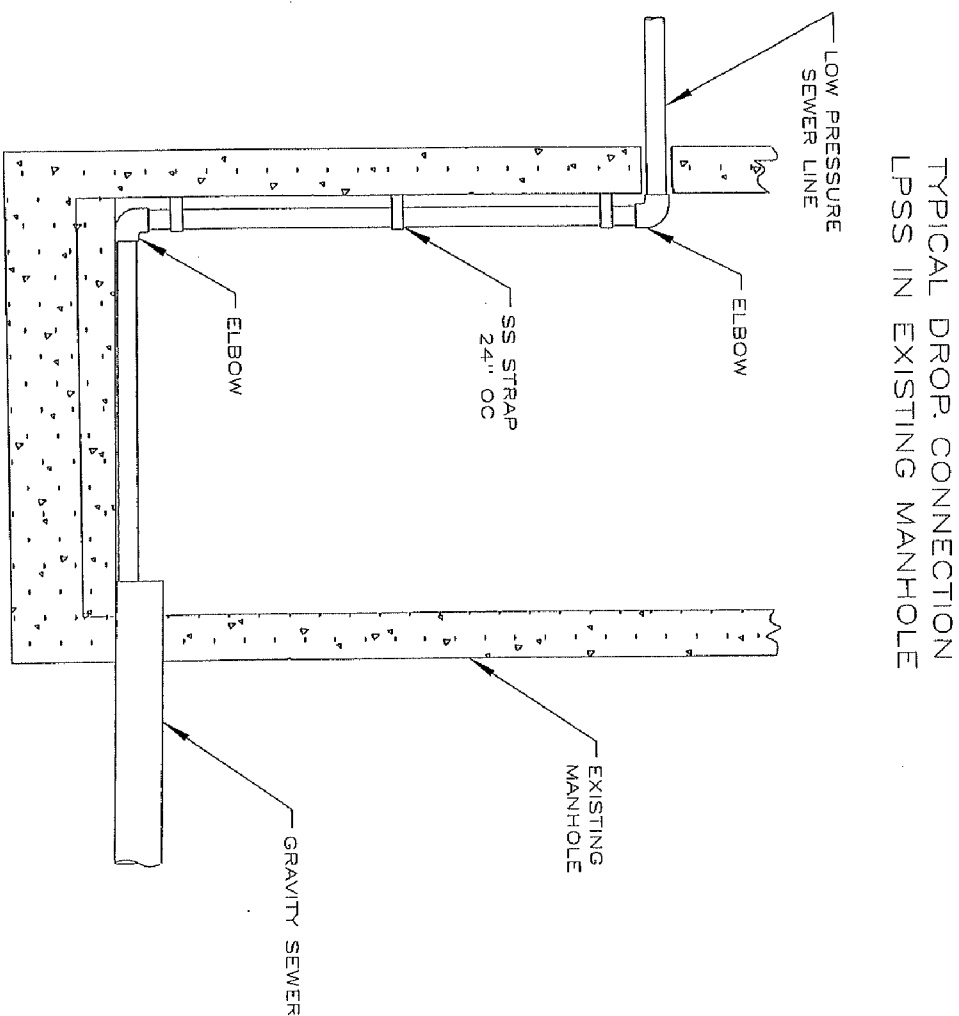
## TYPICAL LATERAL INSTALLATION

NOTE: INSTALL TRACE WIRE 2"-4" ABOVE ALL SANITARY FORCE MAIN LINES CARRY TRACE WIRES UP TO THE SURFACE WITHIN VALVE BOXES.



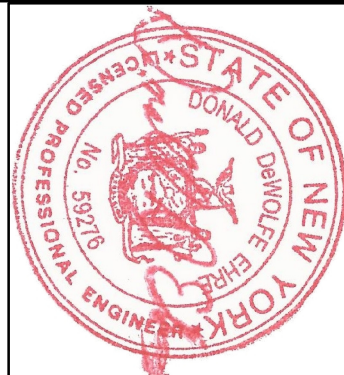
# SEPARATION DETAIL WATER MAINS AND SEWERS

NO SCALE



### TYPICAL DROP CONNECTION

NO SCALE



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DATE	BY	REVISION
03/24/25	E.J.L	REVISED

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4 OXFORD CROSSING, SUITE 102, NEW HARTFORD, NY 13413 (315) 797-6088

# SANITARY DETAILS

## ENVIRONMENT ONE

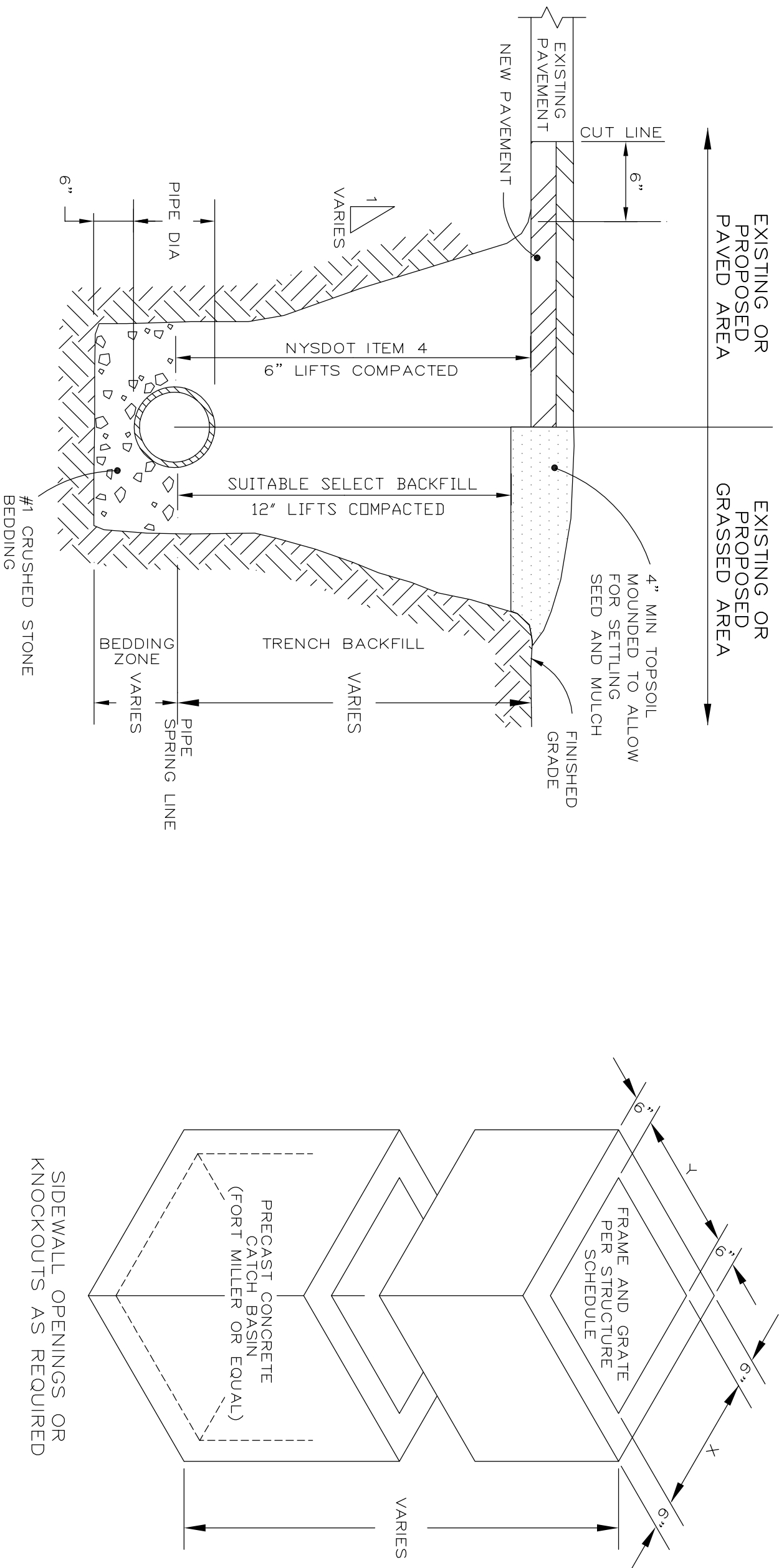
BOULDER CONSULTANTS

COPPER HILL VILLAGE SUBDIVISION  
CITY OF ROME  
COUNTY OF ONEIDA  
STATE OF NEW YORK

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JOB NO.:	FILE:
24175	WOODDET
DWC. NO.:	
SHEET 7	



STRUCTURE SCHEDULE			
STRUCTURE TYPE	STRUCTURE NUMBERS	DIMENSION	FRAME & GRATE
A	ALL STRUCTURES	2'-6"x2'-6"	SYRACUSE CASTING 655-3 #1/4 OR EQUAL



#### TYPICAL STORM DRAIN TRENCH SECTION

NO SCALE

NOTE:  
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#### STORM DRAINAGE LINE SCHEDULE

FROM	TO	SIZE	LENGTH	SLOPE %
CB-1	CB-2	12"	24'	2.10
CB-2	ES-3	12"	120'	5.00
CB-4	CB-5	12"	24'	2.10
CB-5	ES-6	12"	110'	1.81

#### CATCH BASIN DETAIL

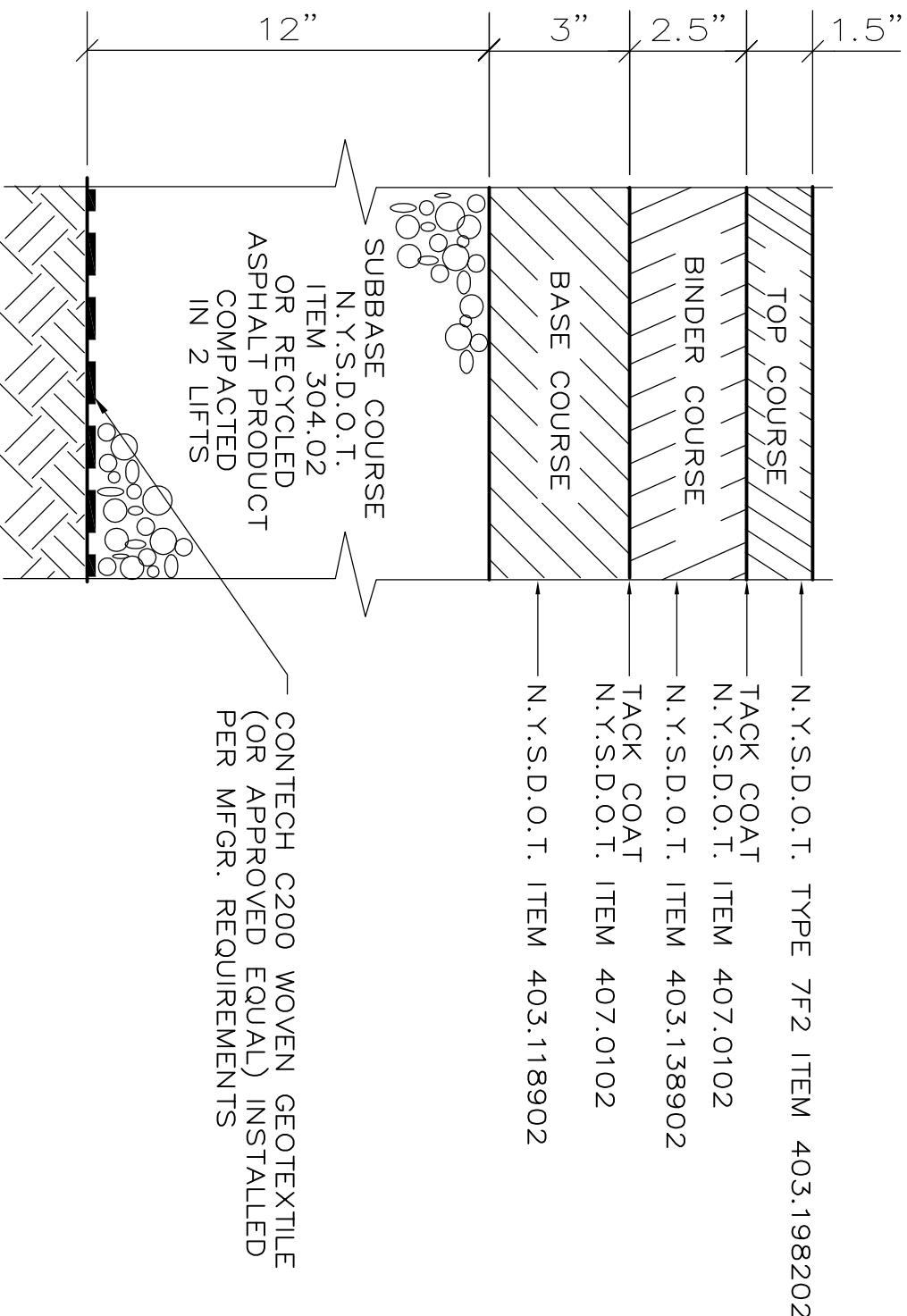
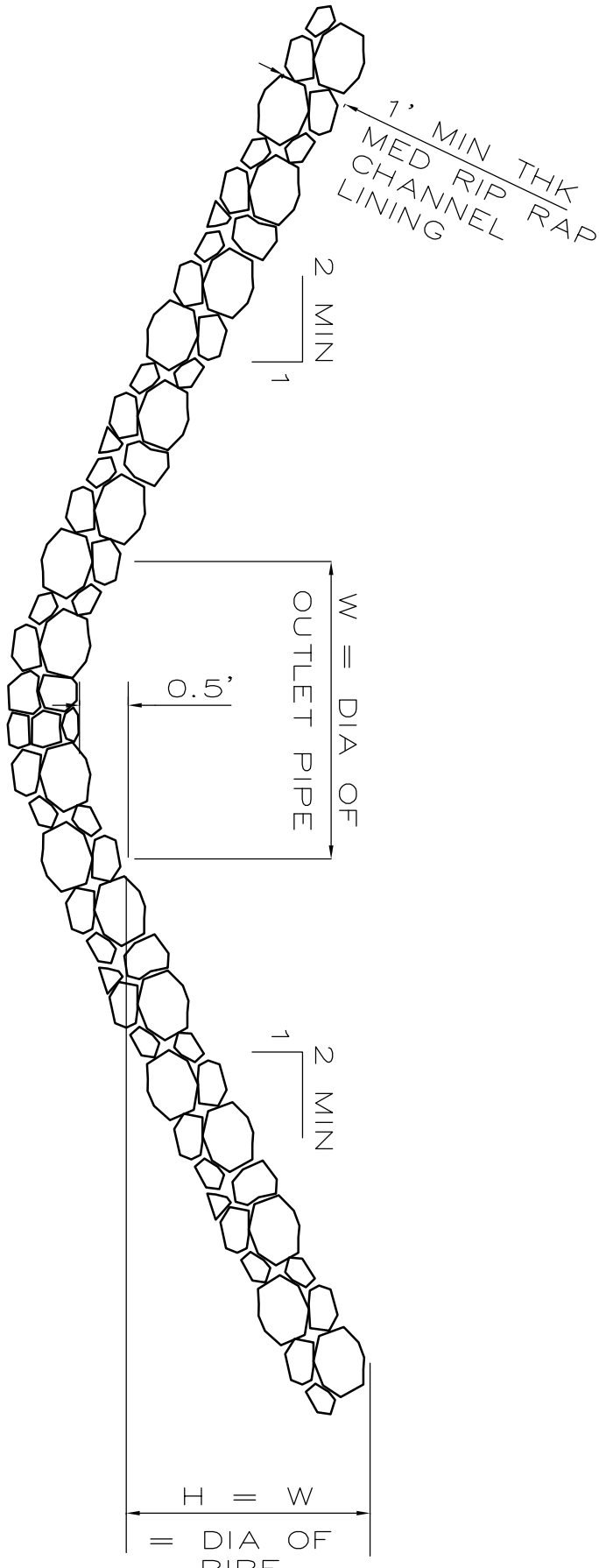
NO SCALE

#### STORM DRAINAGE STRUCTURE TABLE

STRUCTURE #	RIM	INV. IN	INV. IN	STRUCTURE TYPE
CB-1	578.0	-	571.0	2'-6"x2'-6" PRECAST
CB-2	578.0	570.5	-	2'-6"x2'-6" PRECAST
ES-3	-	-	564.0	END SECTION
CB-4	566.9	-	562.0	2'-6"x2'-6" PRECAST
CB-5	566.9	561.5	-	2'-6"x2'-6" PRECAST
ES-6	-	-	559.0	END SECTION

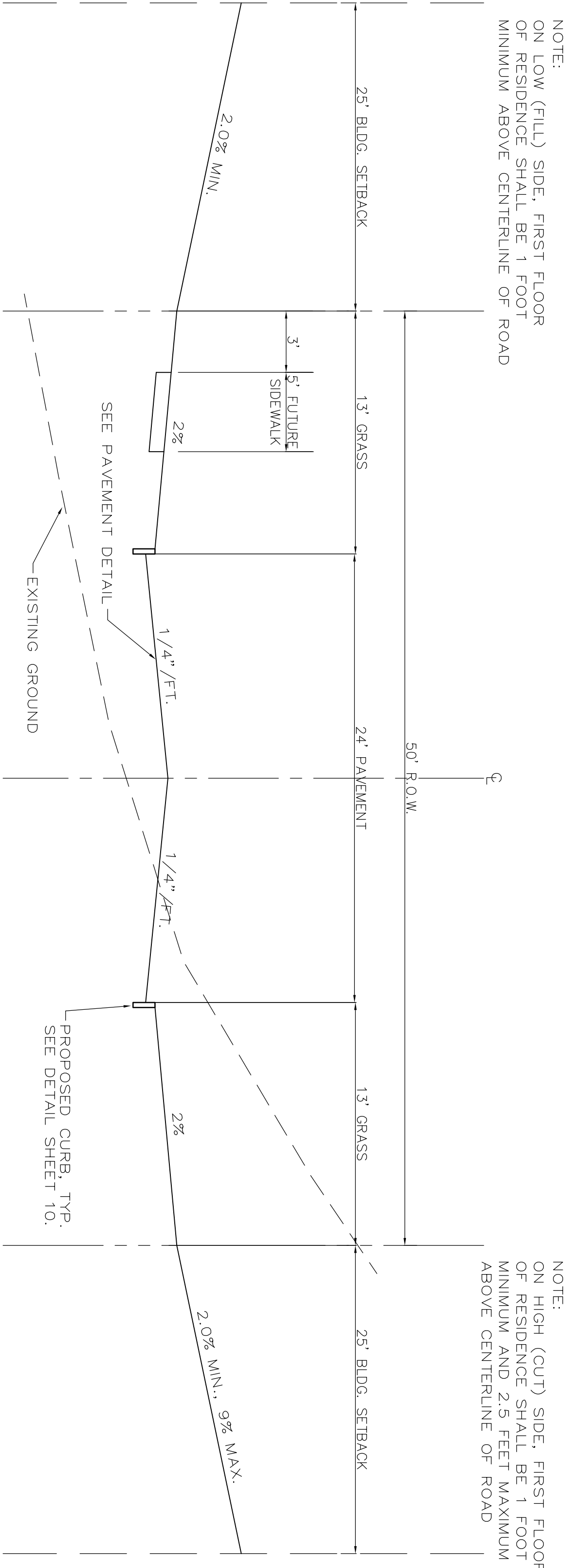
#### TYPICAL SECTION OF RIP RAP CHANNEL LINING AT OUTFALL OF STORM DRAIN

NO SCALE



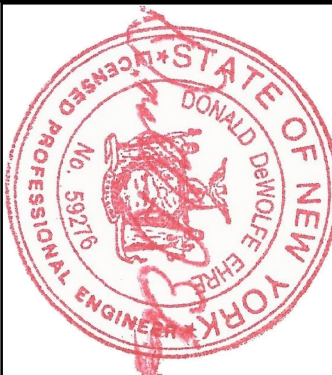
#### PAVEMENT DETAIL

NO SCALE



#### TYPICAL ROAD SECTION

NO SCALE



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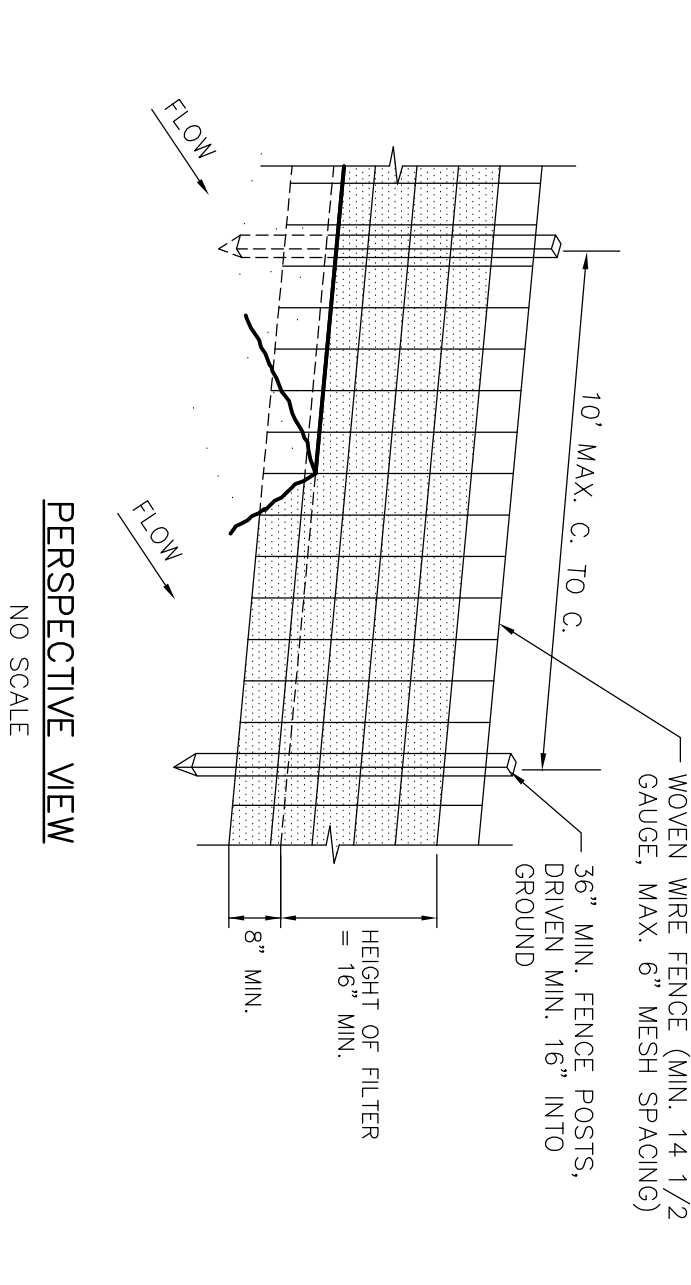
DATE	BY	REVISION
02/17/25	E.L.	REVISED
03/04/25	E.L.	REVISED

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4 OXFORD CROSSING, SUITE 102, NEW HARTFORD, NY 13413 (315) 797-6088  
STORM DRAINAGE & PAVING DETAILS

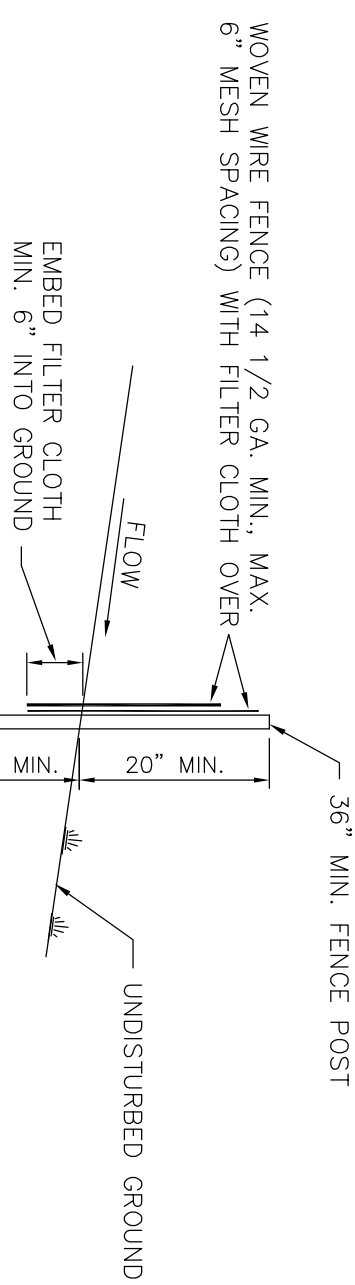
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CITY OF ROME  
COUNTY OF ONEIDA  
STATE OF NEW YORK

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DWG. NO.: W000DET	
SHEET 8	





PERSPECTIVE VIEW  
NO SCALE



SECTION  
NO SCALE

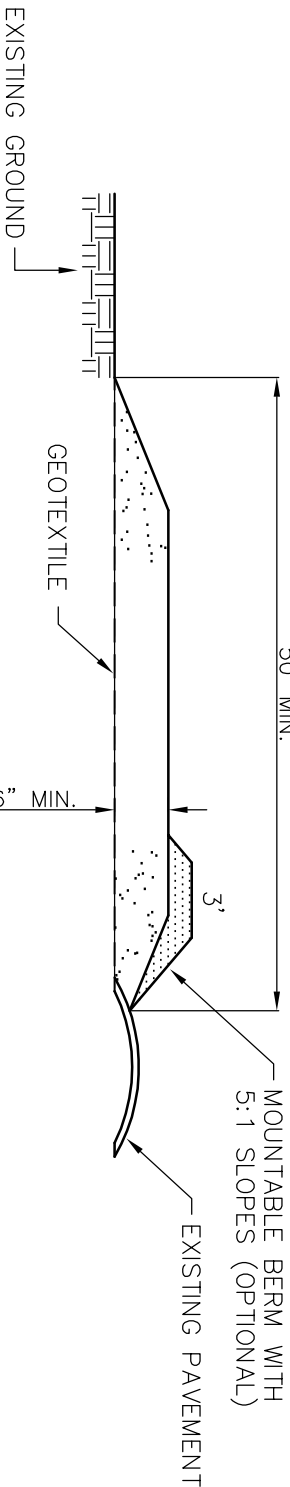
### CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE.
3. FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN SILT FENCE.

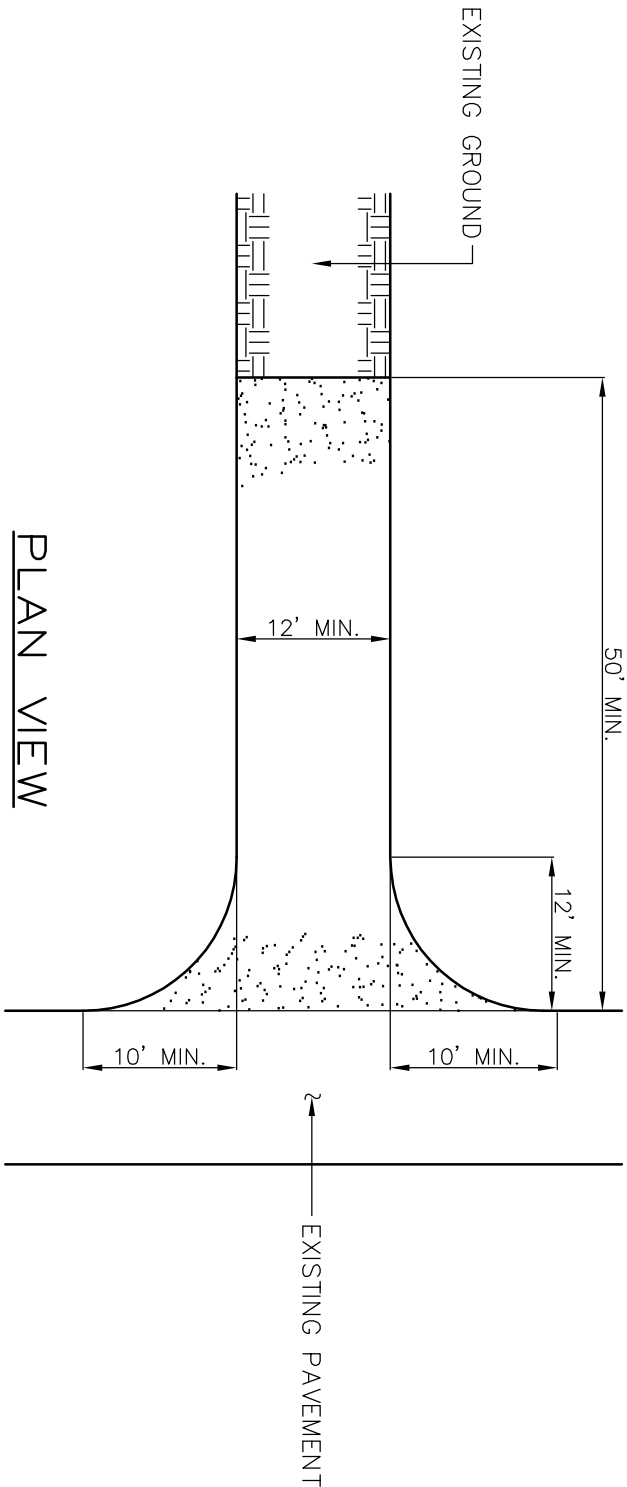
### SILT FENCE DETAILS

NO SCALE

### PROFILE



### PLAN VIEW



### CONSTRUCTION SPECIFICATIONS

1. STONE SIZE – USE 1" TO 4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH – NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS – NOT LESS THAN SIX (6) INCHES.
4. WIDTH – TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO THE SITE.
5. GEOTEXTILE – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

### STABILIZED CONSTRUCTION ACCESS DETAIL

NO SCALE

### STANDARD AND SPECIFICATIONS FOR STORM DRAIN INLET PROTECTION



Definition & Scope

A temporary barrier with low permeability, installed around the storm drain inlet, to prevent sediment from entering the storm drain. The barrier shall be constructed of stone, concrete, or other durable material, and shall be designed to prevent sediment from entering the storm drain. The barrier shall be installed around the storm drain inlet, and shall be maintained throughout the construction period.

#### Conditions Where Practice Applies

This practice shall be used where the drainage area to an inlet is greater than 1 acre. The barrier shall be installed around the storm drain inlet, and shall be maintained throughout the construction period. The barrier shall be designed to prevent sediment from entering the storm drain. The barrier shall be installed around the storm drain inlet, and shall be maintained throughout the construction period.

#### Types of Storm Drain Inlet Protection

There are five (5) specific types of storm drain inlet protection practices that vary according to their function, location, drainage area, and availability of materials:

- I. Excavated Drop Inlet Protection
- II. Fabric Drop Inlet Protection
- III. Stone & Block Drop Inlet Protection
- IV. Mechanical Inlet Protection
- V. Mechanical Inlet Protection

#### Design Criteria

Drainage Area – The drainage area for storm drain inlets shall not exceed one acre. Erosion control/temporary stabilization measures must be implemented on the disturbed

New York Standards and Specifications  
For Erosion and Sediment Control

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February 2016

### STANDARD AND SPECIFICATIONS FOR CONCRETE TRUCK WASHOUT



Definition & Scope

A temporary excavated or above ground lined constructed pit or basin, used to wash concrete trucks and equipment. The washout facility shall be constructed of concrete, steel, or other durable material, and shall be designed to prevent sediment from entering the storm drain. The washout facility shall be installed around the storm drain inlet, and shall be maintained throughout the construction period.

#### Conditions Where Practice Applies

Washout facilities shall be provided for every project where concrete trucks and equipment are used. The washout facility shall be constructed of concrete, steel, or other durable material, and shall be designed to prevent sediment from entering the storm drain. The washout facility shall be installed around the storm drain inlet, and shall be maintained throughout the construction period.

#### Design Criteria

Capacity – The washout facility should be sized to contain wash water, and rainfall. Wash water shall be estimated at 7 gallons per cubic yard and 50 gallons per square yard of concrete pump truck and/or concrete mixer truck. The washout facility shall be sized to contain the wash water, and shall be designed to prevent sediment from entering the storm drain. The washout facility shall be installed around the storm drain inlet, and shall be maintained throughout the construction period.

Location – Locate the facility a minimum of 100 feet from the edge of the disturbed area, and away from other structures, utilities, and other facilities. The washout facility shall be located on a hard surface, and shall be designed to prevent sediment from entering the storm drain. The washout facility shall be installed around the storm drain inlet, and shall be maintained throughout the construction period.

Filter – All washout facilities will be lined to prevent leaching of liquids into the ground. The liner shall be plastic sheeting with a minimum thickness of 10 mils with no holes

February 2016

Page 2.24

New York Standards and Specifications  
For Erosion and Sediment Control

### STANDARD AND SPECIFICATIONS FOR DUST CONTROL



Definition & Scope

The control of dust resulting from land-disturbing activities, such as grading, excavation, and other construction activities. Dust control measures shall be implemented to prevent dust from entering the storm drain. The dust control measures shall be installed around the storm drain inlet, and shall be maintained throughout the construction period.

#### Conditions Where Practice Applies

On construction roads, access points, and other disturbed areas subject to surface dust movement and dust blowing. Dust control measures shall be implemented to prevent dust from entering the storm drain. The dust control measures shall be installed around the storm drain inlet, and shall be maintained throughout the construction period.

#### Design Criteria

Construction operations should be scheduled to minimize the amount of area disturbed at one time. Temporary or permanent stabilization measures shall be implemented on the disturbed area, and shall be designed to prevent sediment from entering the storm drain. The stabilization measures shall be installed around the storm drain inlet, and shall be maintained throughout the construction period.

#### Construction Specifications

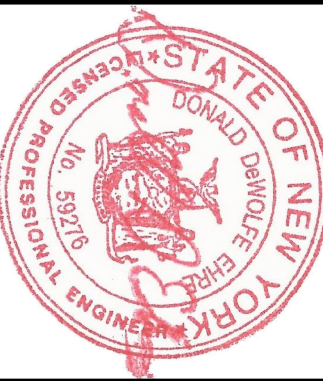
A. Non-driving Areas – These areas use products and materials to stabilize the soil, and shall be designed to prevent sediment from entering the storm drain. The stabilization measures shall be installed around the storm drain inlet, and shall be maintained throughout the construction period.

Maintain dust control measures through dry weather periods until all disturbed areas are stabilized.

New York Standards and Specifications  
For Erosion and Sediment Control

Page 2.25

February 2016



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DATE BY REVISION


### EROSION CONTROL DETAILS

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COPPER HILL VILLAGE SUBDIVISION  
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